

FIDDLER'S CREEK

COMMUNITY DEVELOPMENT

DISTRICT #1

February 28, 2024

BOARD OF SUPERVISORS

REGULAR MEETING

AGENDA

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1**

**AGENDA
LETTER**

Fiddler's Creek Community Development District #1

OFFICE OF THE DISTRICT MANAGER

2300 Glades Road, Suite 410W • Boca Raton, Florida 33431

Phone: (561) 571-0010 • Fax: (561) 571-0013 • Toll-free: (877) 276-0889

February 21, 2024

Board of Supervisors
Fiddler's Creek Community Development District #1

ATTENDEES:
Please identify yourself each time you speak to facilitate accurate transcription of meeting minutes.

Dear Board Members:

The Board of Supervisors of the Fiddler's Creek Community Development District #1 will hold a Regular Meeting on February 28, 2024 at 8:00 a.m., at the Fiddler's Creek Club and Spa, 3470 Club Center Boulevard, Naples, Florida 34114. The agenda is as follows:

1. Call to Order/Roll Call
2. Public Comments: Non-Agenda Items *(3 minutes per speaker)*
3. Quality Control Lake Report – Premier Lakes, Inc. *(Alex Kurth)*
4. Health, Safety and Environment Reports
 - A. Irrigation and Pressure Cleaning Efforts
 - B. Security and Safety Update
5. Developer's Report
6. Discussion/Update: Litigation with CDD #2 Regarding Traffic Signal Cost Sharing
7. Engineer's Report: *Hole Montes, a Bowman Company*
8. Consideration of Carter Fence Company, Inc. Estimate #53233 to Repair Perimeter Fence
9. Discussion: Interlocal Agreements with CDD #2 [Irrigation Distribution Lines]
10. Acceptance of Unaudited Financial Statements as of January 31, 2024
 - Breakdown
11. Approval of January 24, 2024 Regular Meeting Minutes
12. Action/Agenda or Completed Items

13. Staff Reports

A. District Counsel: *Woodward, Pires and Lombardo, P.A.*

- Discussion Regarding Agreement for Access and Construction [Basins I, OH, A1, B1, C, H2, H3]

NOTE: This document is a draft; exhibits are pending; final version is awaiting Developer review.

B. District Manager: *Wrathell, Hunt and Associates, LLC*

- NEXT MEETING DATE: March 27, 2024 at 8:00 AM

○ QUORUM CHECK

SEAT 1	JOSEPH BADESSA	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 2	TORBEN CHRISTENSEN	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 3	JOSEPH SCHMITT	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 4	ROBERT SLATER	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 5	FRANK WEINBERG	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO

C. Operations Manager: *Wrathell, Hunt and Associates, LLC*


14. Supervisors' Requests

15. Public Comments

16. Adjournment

Should you have any questions, please do not hesitate to contact me directly at 239-464-7114.

Sincerely,


 Chesley E. Adams, Jr.
 District Manager

FOR BOARD MEMBERS AND STAFF TO ATTEND BY TELEPHONE

CALL IN NUMBER: 1-888-354-0094

PARTICIPANT PASSCODE: 709 724 7992

FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1

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Fiddler's Creek CDD #1 February 2024 Quality Control Lake Report

Lake #	Treatment or Inspection Performed	Target	Treatment Date	Observations	Additional Tasks
1	Treated	Algae, Shoreline Grasses, & Broadleaf Weeds	01/25/2024		
2	Inspected				
3	Treated	Algae, Shoreline Grasses, & Broadleaf Weeds	01/25/2024		
4	Treated	Shoreline Grasses & Broadleaf Weeds	2/8/2024		
4A	Treated	Shoreline Grasses & Broadleaf Weeds	2/8/2024		
5	Treated	Shoreline Grasses & Broadleaf Weeds	2/8/2024		
6	Treated	Shoreline Grasses & Broadleaf Weeds	2/8/2024		
7	Treated	Shoreline Grasses & Broadleaf Weeds	2/8/2024		
7A	Treated	Shoreline Grasses & Broadleaf Weeds	2/8/2024		
8	Treated	Shoreline Grasses & Broadleaf Weeds	2/8/2024		
9	Inspected				
10	Treated	Algae, Shoreline Grasses, & Broadleaf Weeds	01/18/2024, 02/15/2024	Algae Treated both visits	
15	Inspected				
16	Inspected				
17	Treated	Algae	2/15/2024		
18	Inspected				
21	Inspected				

Lake #	Treatment or Inspection Performed	Target	Treatment Date	Observations	Additional Tasks
22	Inspected				
30	Treated	Algae, Shoreline Grasses, & Broadleaf Weeds	01/18/2024		
34	Inspected				
34A	Treated	Shoreline Grasses & Broadleaf Weeds	02/15/2024		
34B	Treated	Shoreline Grasses & Broadleaf Weeds	01/25/2024		
35	Treated	Algae, Shoreline Grasses, & Broadleaf Weeds	01/25/2024		
36	Treated	Algae	1/18/2024		
37A/B	Treated	Algae, Shoreline Grasses, & Broadleaf Weeds	2/15/2024		
38A/B/C	Treated	Algae	2/1/2024, 02/15/2024	Algae Treated both visits	
39A/B	Treated	Algae, Shoreline Grasses, & Broadleaf Weeds	1/25/2024, 02/15/2024		
40A/B	Treated	Shoreline Grasses & Broadleaf Weeds	01/18/2024		
41A1/A	Inspected				
41B1/B2/C	Treated	Algae, Shoreline Grasses, & Broadleaf Weeds	01/18/2024, 02/01/2024	Algae Treated both visits	
42A/B	Treated	Algae, Floating Weeds, Shoreline Grasses & Broadleaf Weeds	01/18/2024, 02/01/2024, 02/15/2024		
43B	Inspected				
44	Treated	Hydrilla	01/18/2024		Monitor Hydrilla Treatment

Lake #	Treatment or Inspection Performed	Target	Treatment Date	Observations	Additional Tasks
50A/B	Treated	Shoreline Grasses & Broadleaf Weeds	01/18/2024, 02/15/2024		
70A/B	Treated	Algae, Shoreline Grasses & Broadleaf Weeds	1/18/2024, 02/15/2024		
78A/B	Treated	Algae	1/18/2024		
79A	Treated	Shoreline Grasses & Broadleaf Weeds	2/15/24		
95	Inspected				
FC1	Inspected				
FC2	Treated	Cristata Lily	2/8/2024		
FC3	Inspected				
FC4	Inspected				
FC5	Inspected				
65A	Inspected				
65B	Treated	Shoreline Grasses & Broadleaf Weeds	2/15/24		
65C	Inspected				
65D	Inspected				
65E1	Inspected				
65F	Inspected				
Marco Shores	Treated	Shoreline Grasses & Broadleaf Weeds	01/25/2024, 02/08/2024		
Cardinal Cove	Inspected				
GC Hole 13	Treated	Algae	2/15/2024		



Fiddler's Creek CDD #1 Monthly Summary & Next Steps

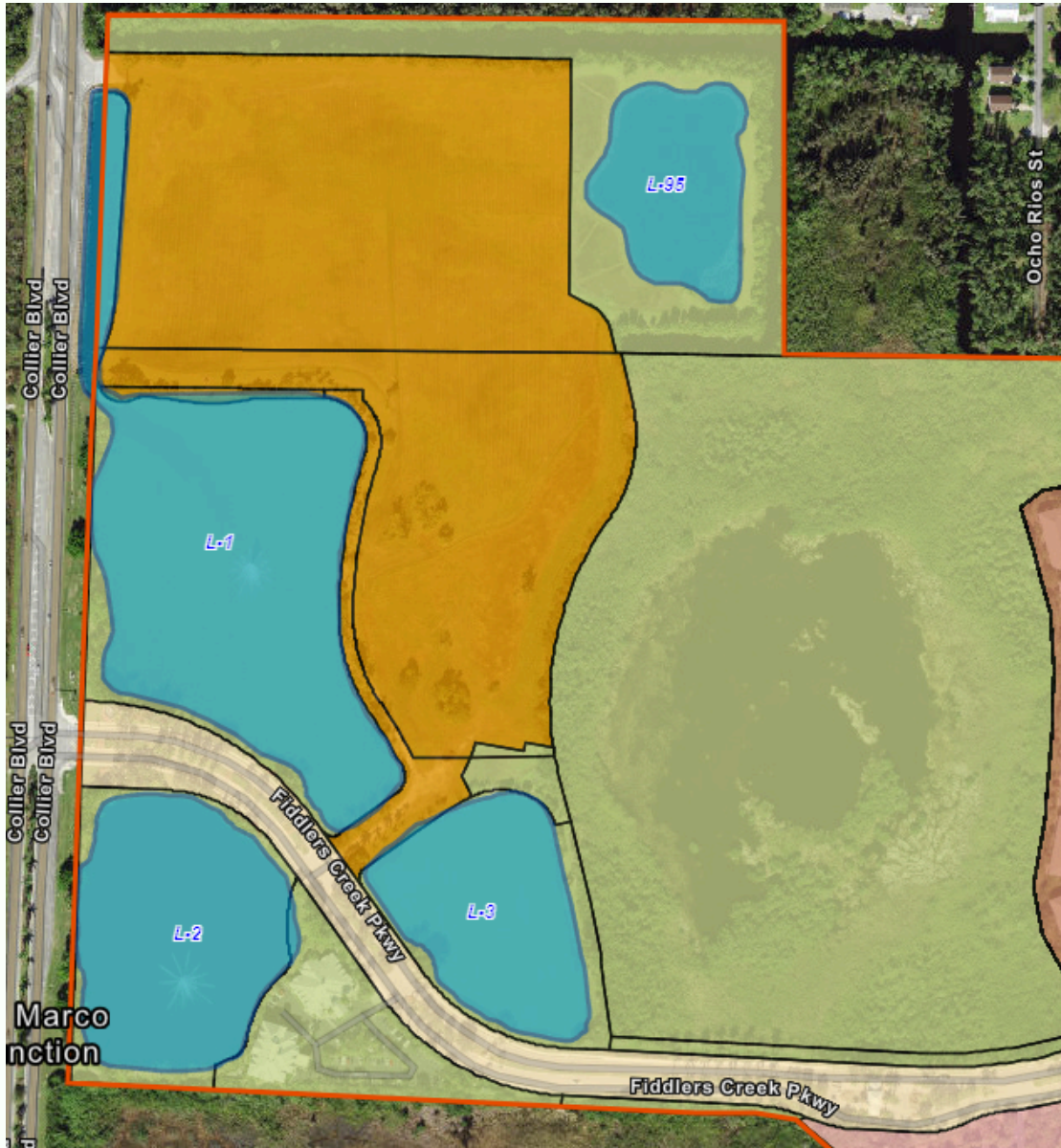
Since the last board meeting, we have seen a significant increase in Algae treatments. Although none of the blooms were substantial, 15 different lakes required treatment with 3 of those lakes requiring a follow-up treatment. We are continuing to spot spray out torpedo grass and miscellaneous broadleaf weed species in and amongst littoral plants. As a whole, the littoral shelves are in far better shape than they were this time last year. There is significantly less open areas with littoral plants drastically increasing.

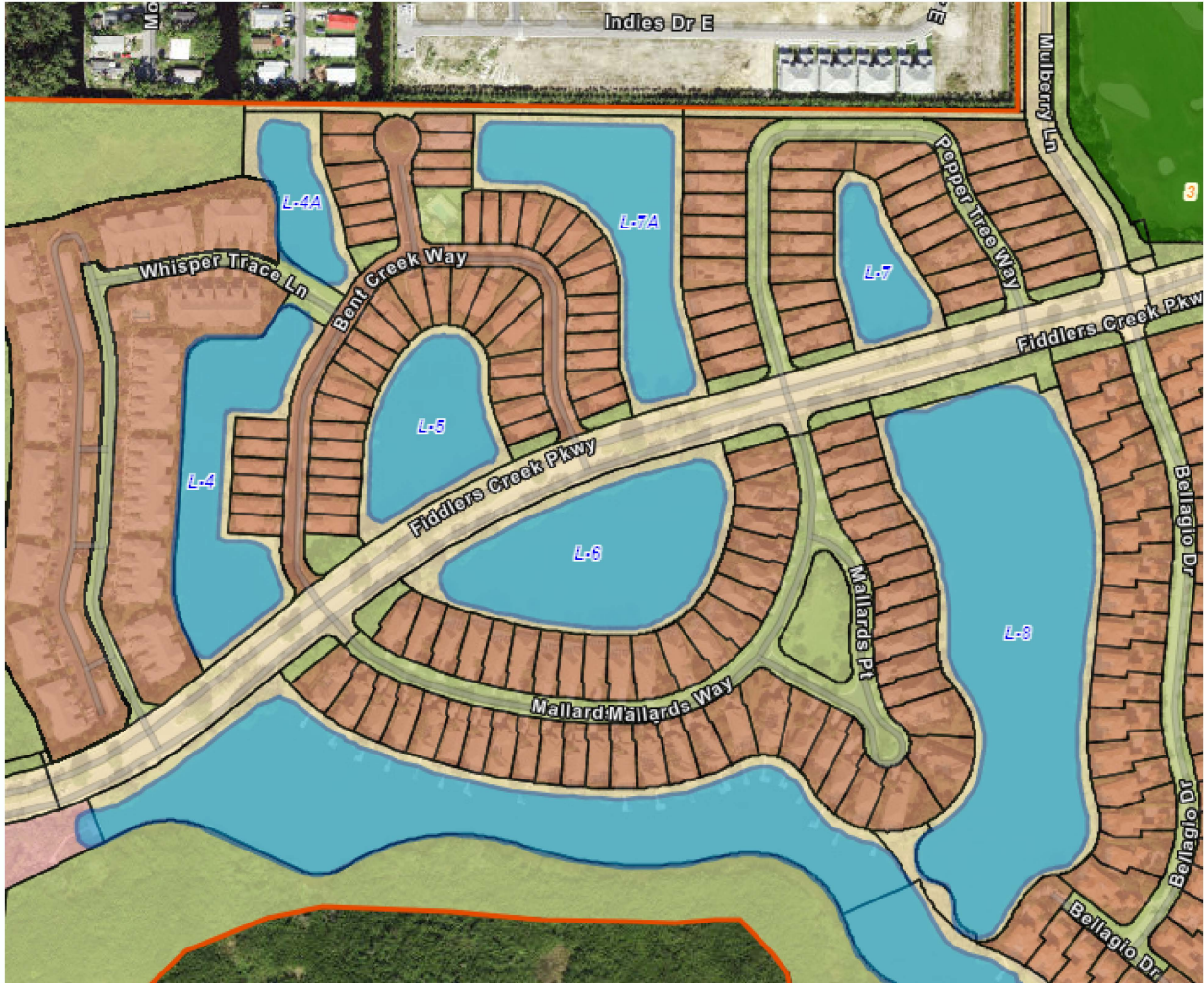
We also had some floating weed and submersed treatments occur this month. Hydrilla was treated in lake 44, Water Lettuce in 42A/B, and Cristata Lily in FC2.

As we prepare for Spring, we will continue to focus heavily on ensuring the amount of torpedo grass is as minimal as possible to be in the best possible shape for growing season. As previously mentioned, Illinois Pondweed is present in Lake 50A in isolated areas. We are continuing to monitor it's growth to treat at the proper time. We still anticipate treatment to occur sometime between late March and Early May at this time, dependent on weather.

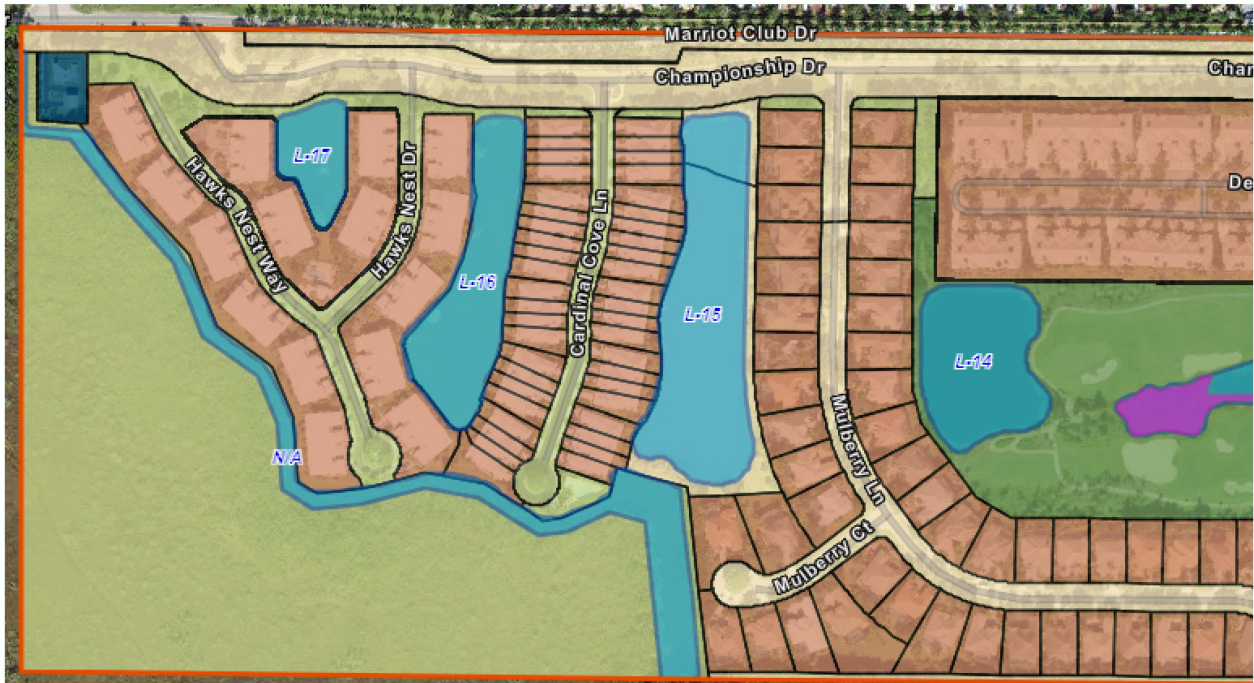


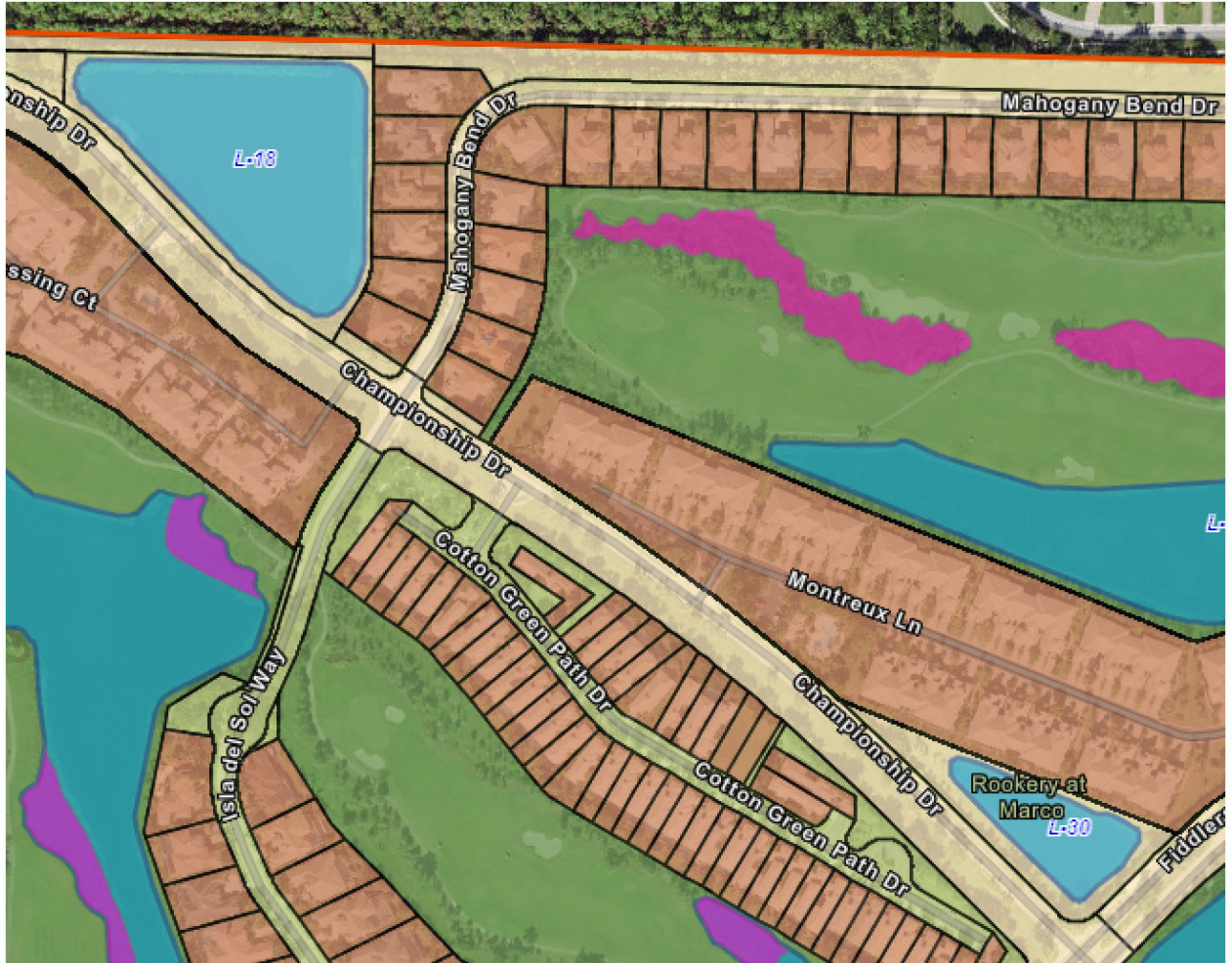
Fiddler's Creek CDD #1 GIS Site Maps

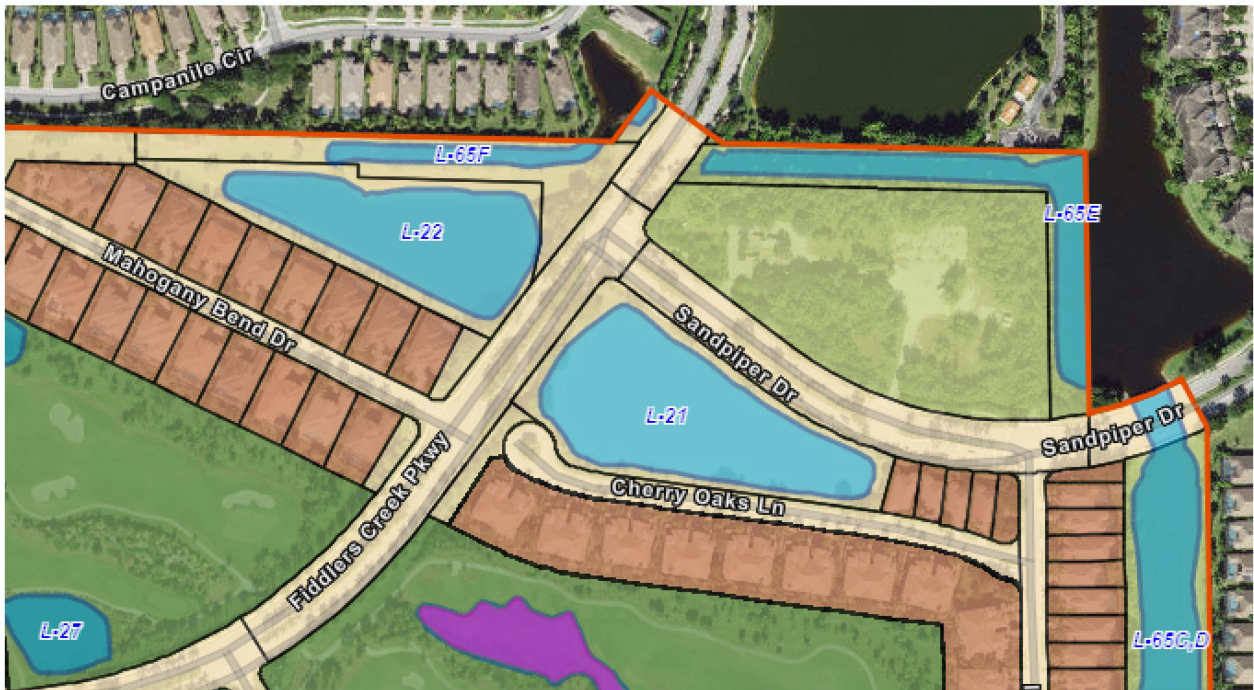






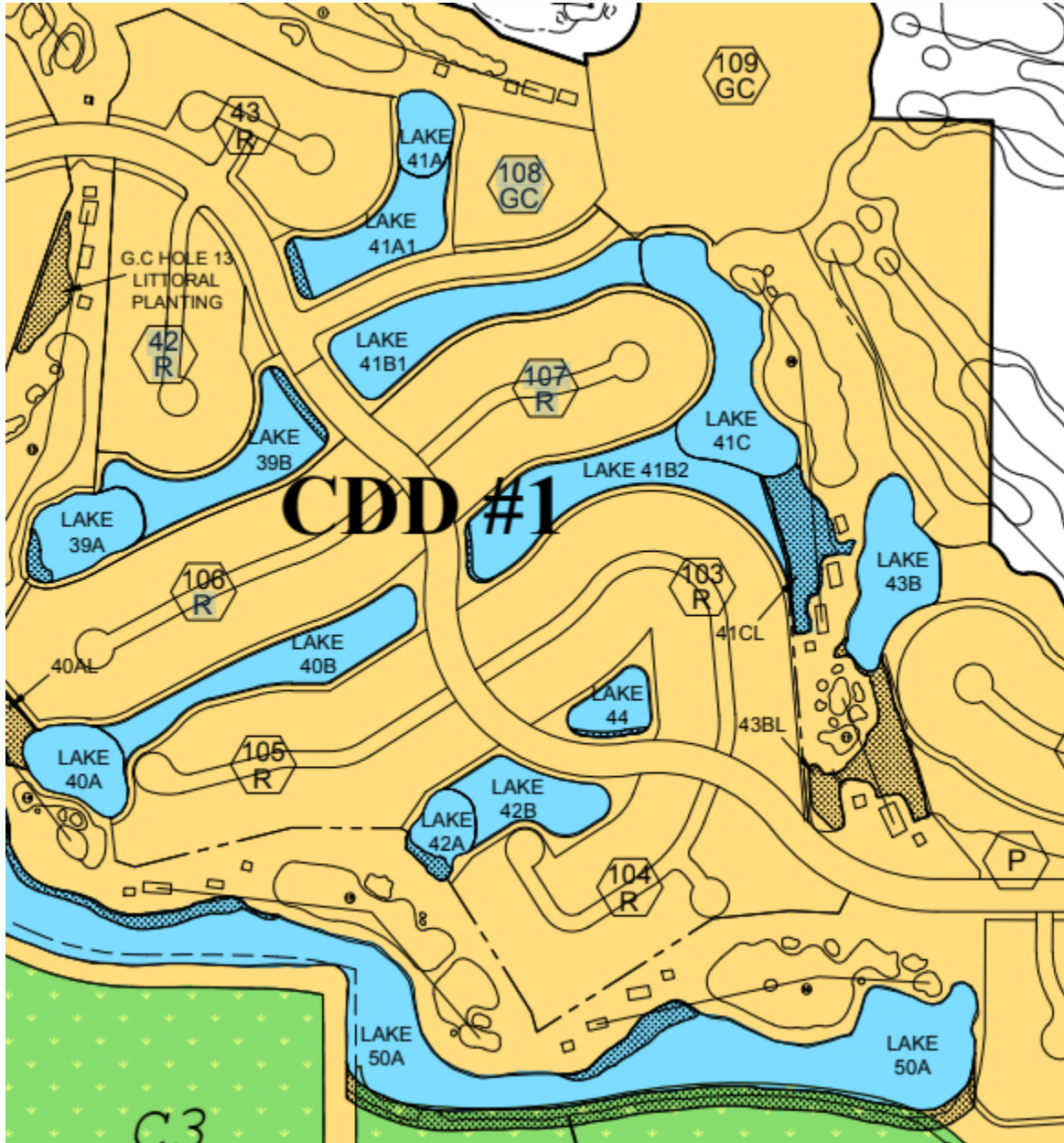


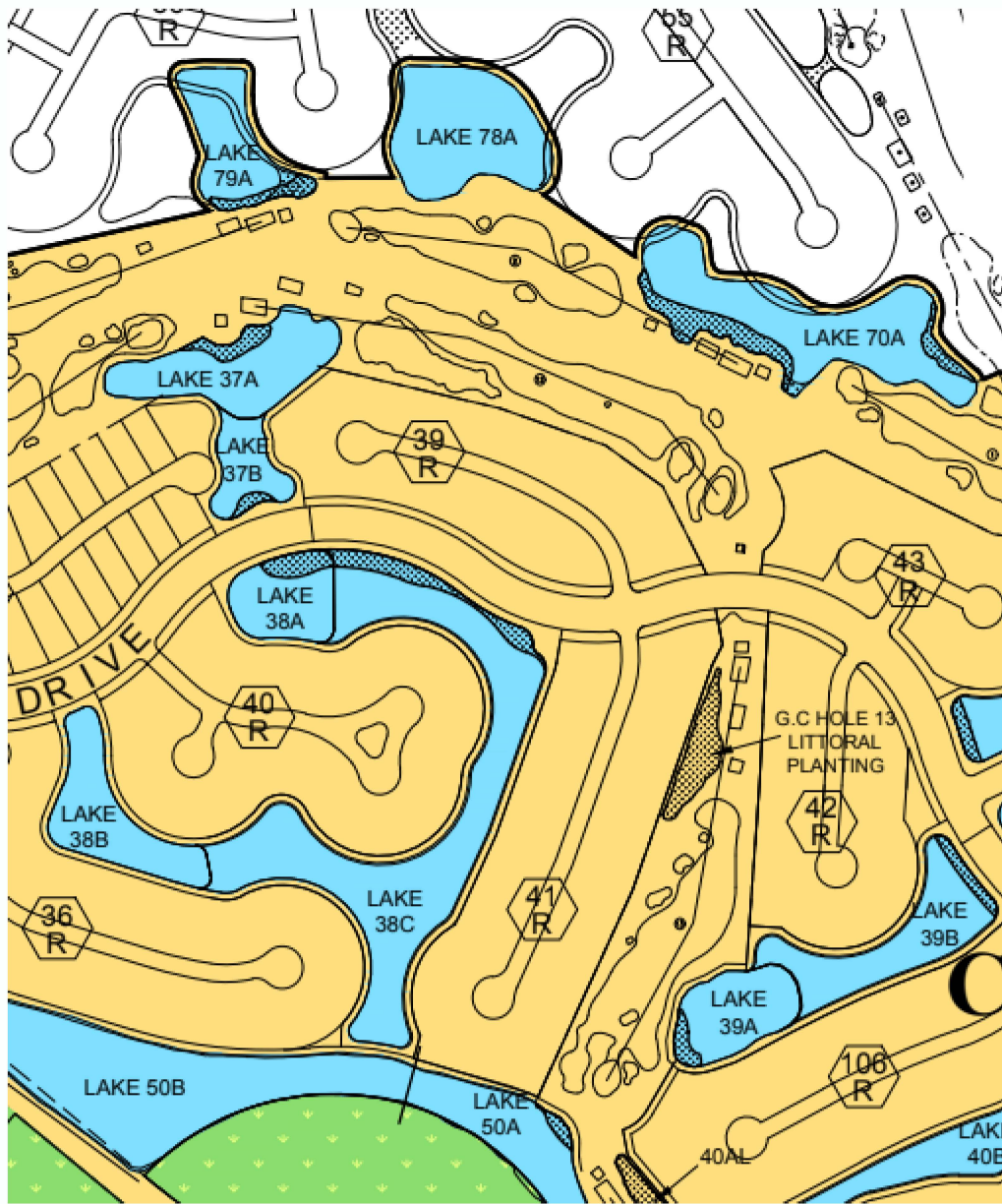


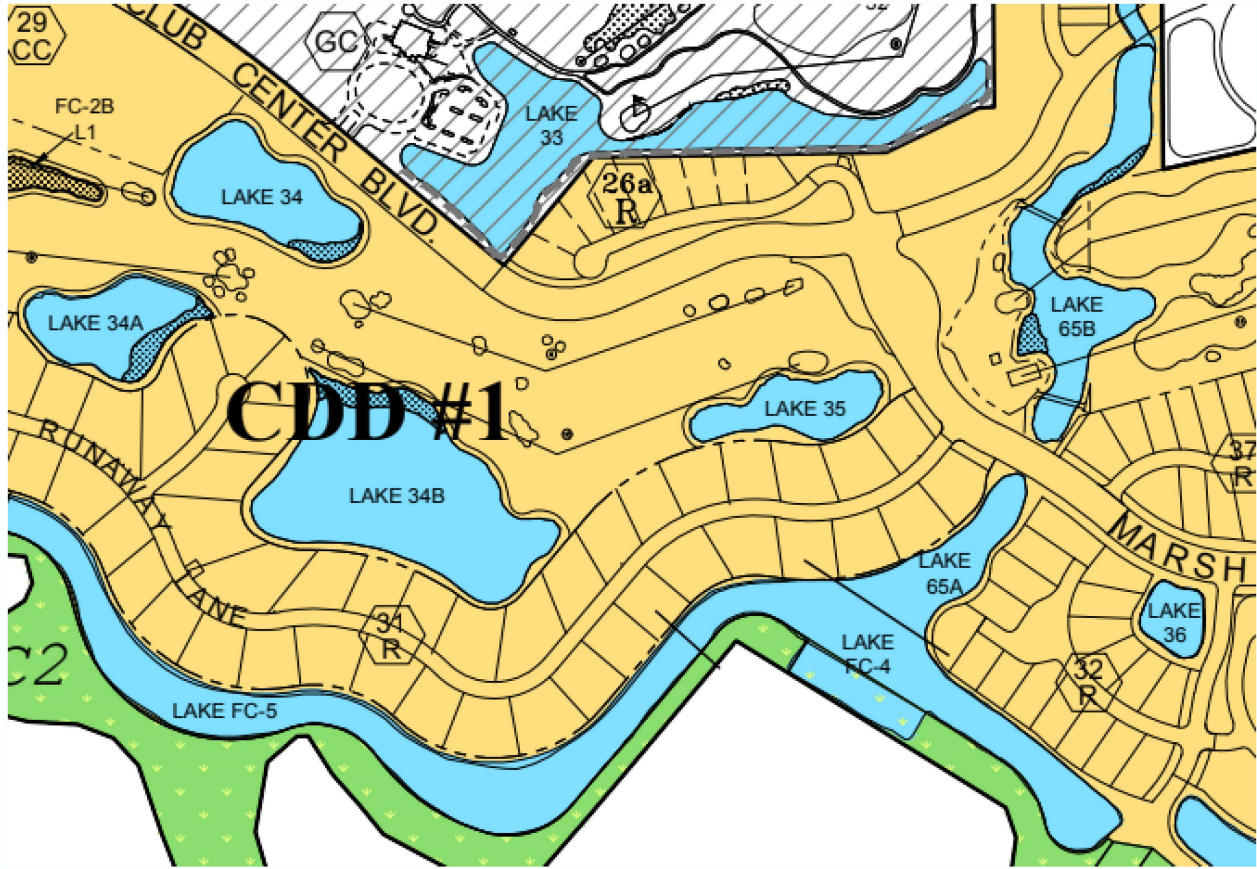




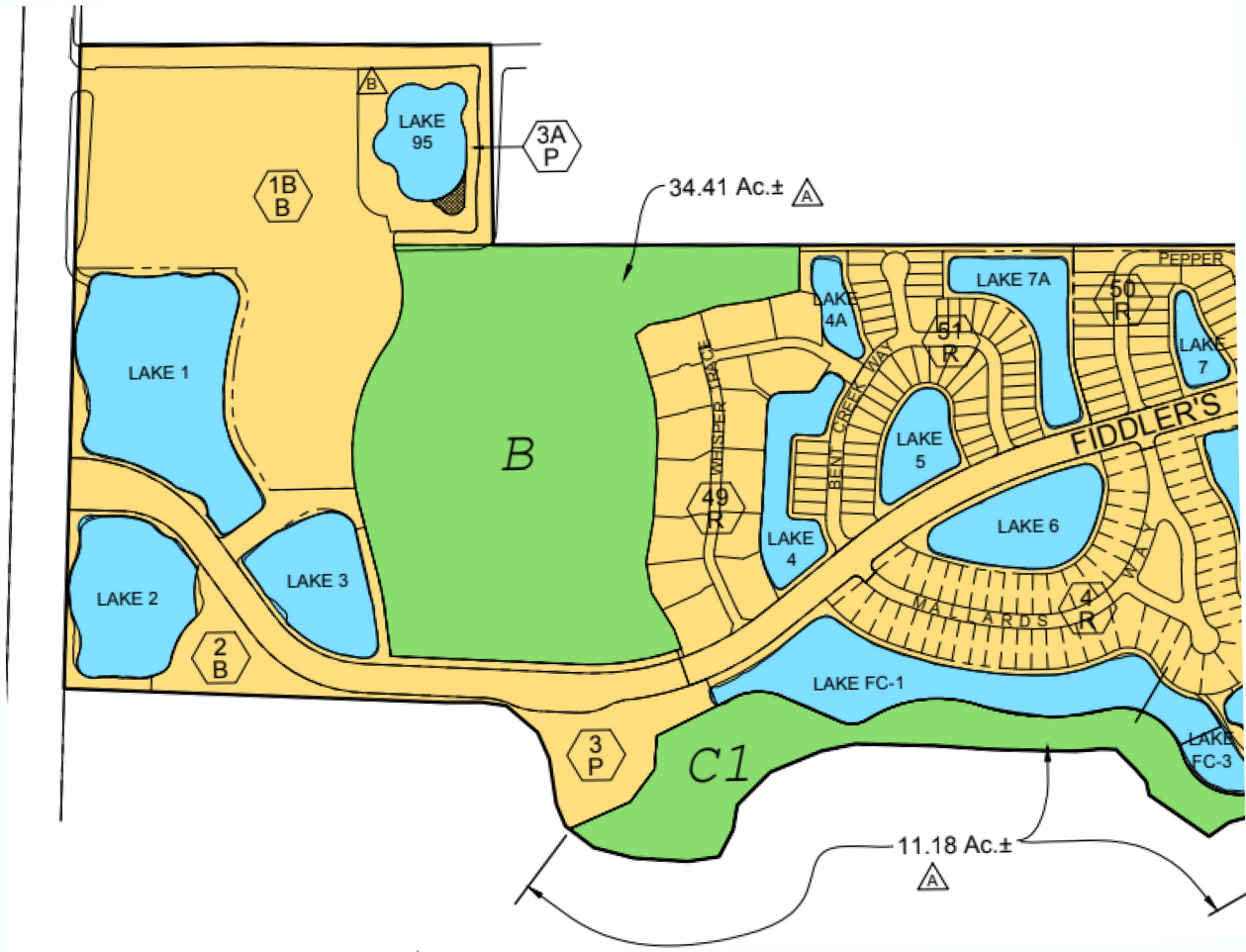
Fiddler's Creek CDD #1 Alternative Site Maps

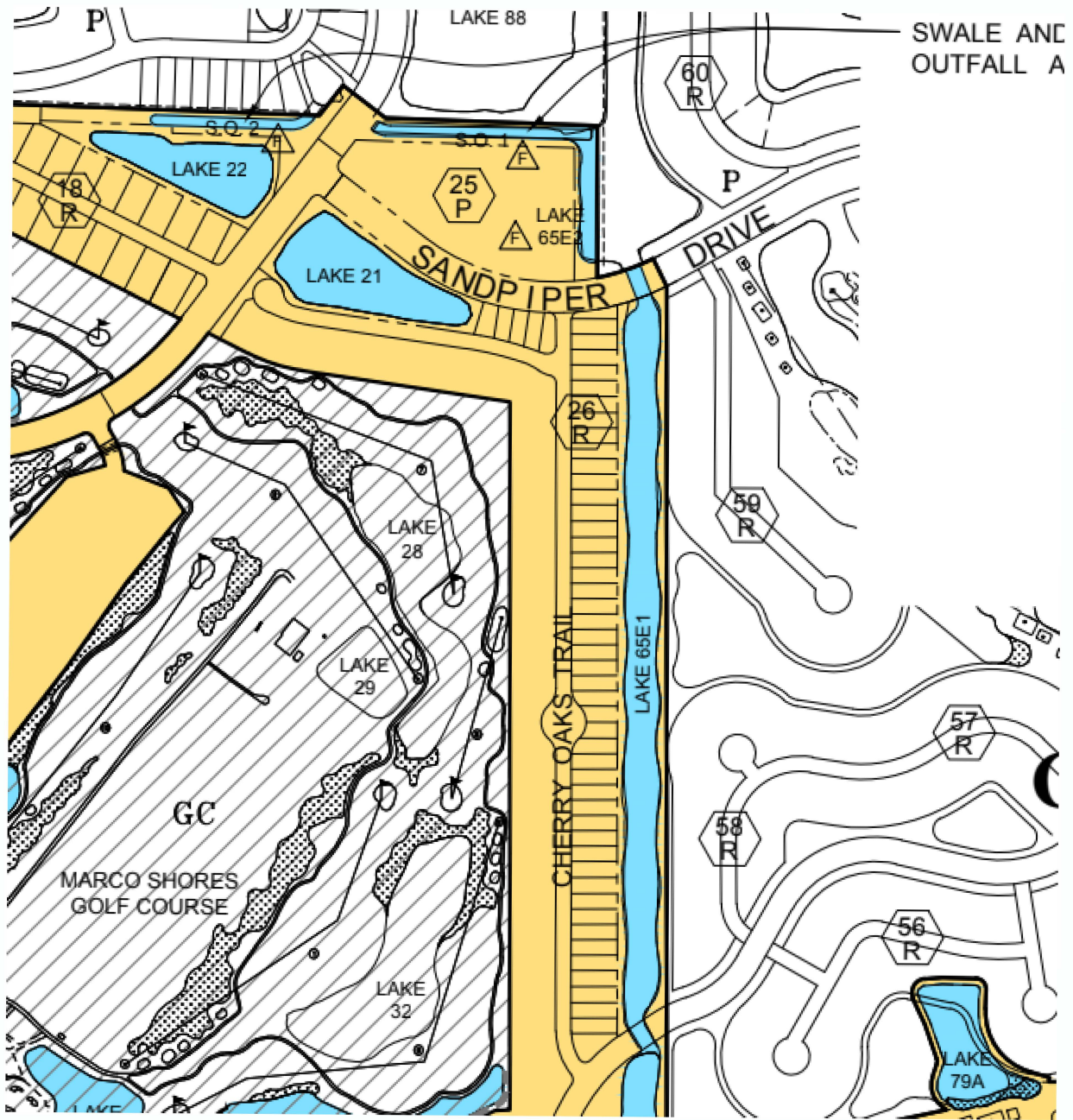


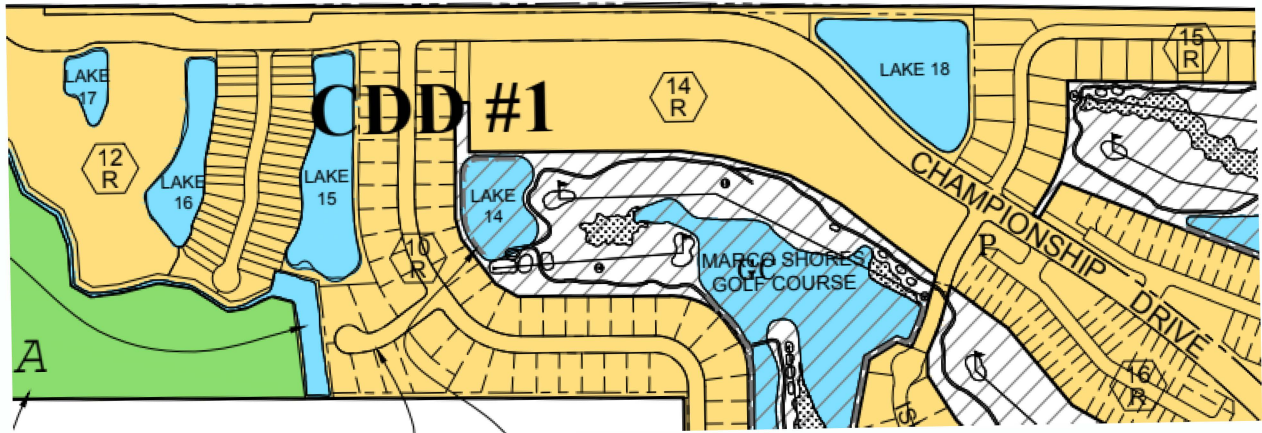












FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1

4A

CDD I

JANUARY 2024

PRESENTED BY: RYAN HENNESSEY & JOSEPH PARISI

CDD I FOUNDATION CONTRACTED RESPONSIBILITIES

1. Tree Canopy Trimming
2. Irrigation
 - Irrigation@Fiddlerscreek.com
3. Pressure Washing
 - Pressurewashing@Fiddlerscreek.com

TREE CANOPY TRIMMING

- Nothing was scheduled for January or February
- Juniper started early with the fruited palms in CDD#1



IRRIGATION PROJECTED USAGE

- 19 Programmed Village Satellites
 - Monday, Wednesday & Saturday
 - 9:00 pm – 8:00 am
 - 14 Possible Run Cycles / 6 rain holds
- 11 Programmed Common Satellites
 - Tuesday, Thursday & Sunday
 - 13 Possible Run Cycles / 6 rain holds
- January Estimated Water Calculation Usage
 - Villages: 4,466,396 Gallons
 - Common: 1,626,009 Gallons
- Total Water Usage in January 2024 was 35,806,383 gallons.
Total Water Usage in January 2023 was 53,536,037 gallons.
- *Does not account for non-scheduled water usage such as leaks, wet checks, manual runs, battery timers, individual residential timers, and manual Toro clocks.



IRRIGATION REPORT

The Irrigation Manager found these problems in the month of January:



I-3 Bent Creek-

1/16/24- The satellite failed to communicate. Found a bad Cat-5 cable (Modem to Radio) and replaced it. (No Charge)

I-4 Mulberry Row-

1/18/24- The satellite failed to communicate. Powered radio back on and remotely downloaded information.

I-5 Second Tunnel-

1/21/24- The satellite failed to communicate. Came in on Sunday, cleaned all connections, powered radio back on and remotely download information.

I-8 Isla & Championship-

1/30/24- Communication failure. Radio wiring harness wasn't working. Replaced and ordered a new one (~\$180.00)

PRESSURE WASHING

- Past 30 days:
 - Championship Drive. Also sent to Museo Circle, Mulberry Lane and the Marsh Cove entrance.
- Projected next 30 days:
 - Montreux and Mahogany Bend.



Current Month's Projected Plan

- Completed
- Current Month Progress
- Scheduled Routes
- Other Pressure Cleanings





Questions?



FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1

4B

Safety Department Update

Department of Safety, Health & Environment

DIRECTOR OF COMMUNITY SERVICES –
Ryan Hennessey

SAFETY MANAGER – Richard Renaud



Fiddler's Creek®

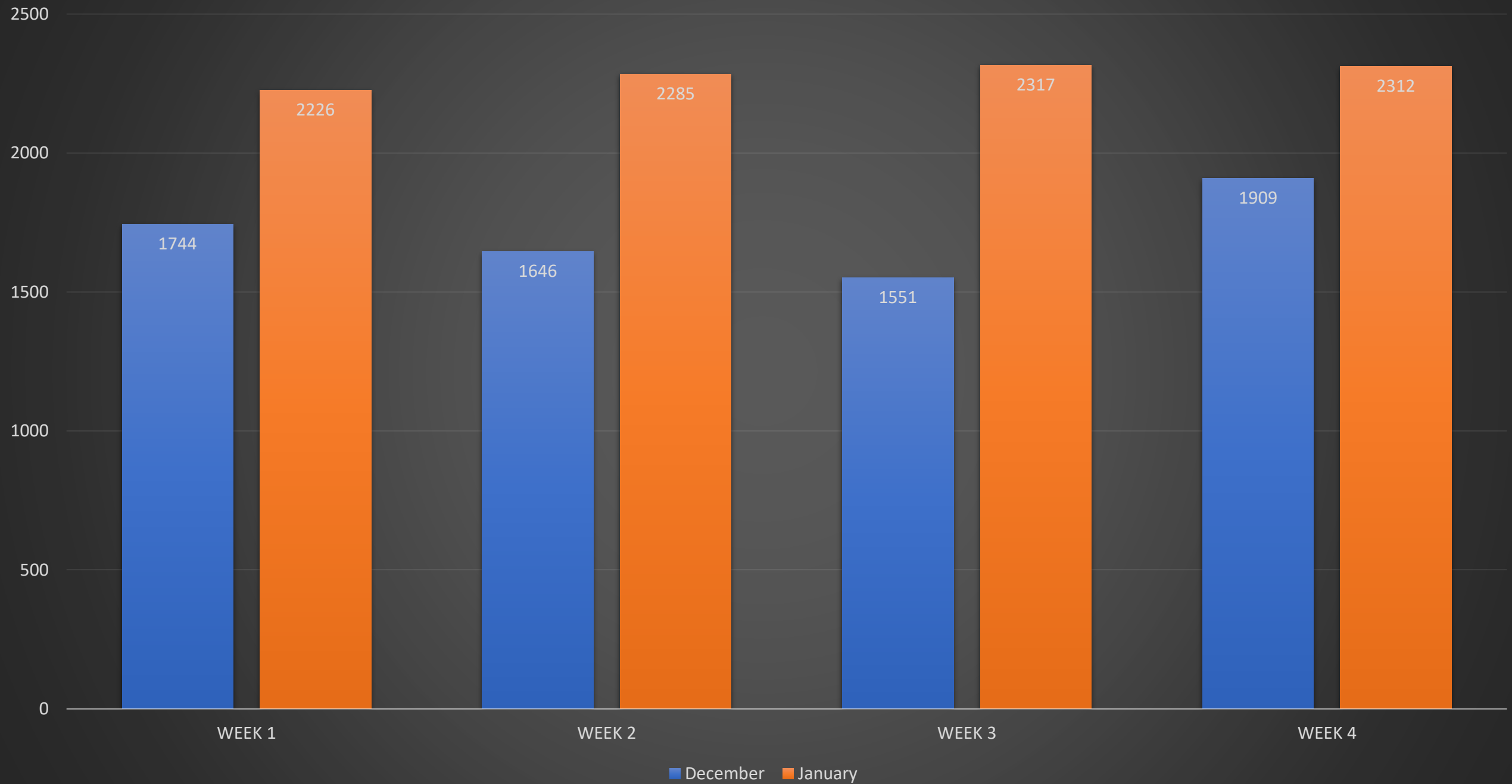
Gate Access Control

- Enter your guest information on the member's website
- Use the Fiddler's Creek mobile app to register guests
- Call the automated gate house at 239-529-4139
- IF YOU EXPERIENCE DIFFICULTY WITH ANY OF THESE,
PLEASE SEND THE INFORMATION TO
safety@fiddlerscreek.com, ALWAYS INCLUDE YOUR NAME
AND ADDRESS.
- **Community Patrol 239-919-3705**

WE ARE NOT FIRST RESPONDERS, ALWAYS CALL 911 FOR AN
EMERGENCY

THEN CALL COMMUNITY PATROL TO INFORM THEM OF THE
INCIDENT

Occupancy Report: December 2023- January 2024

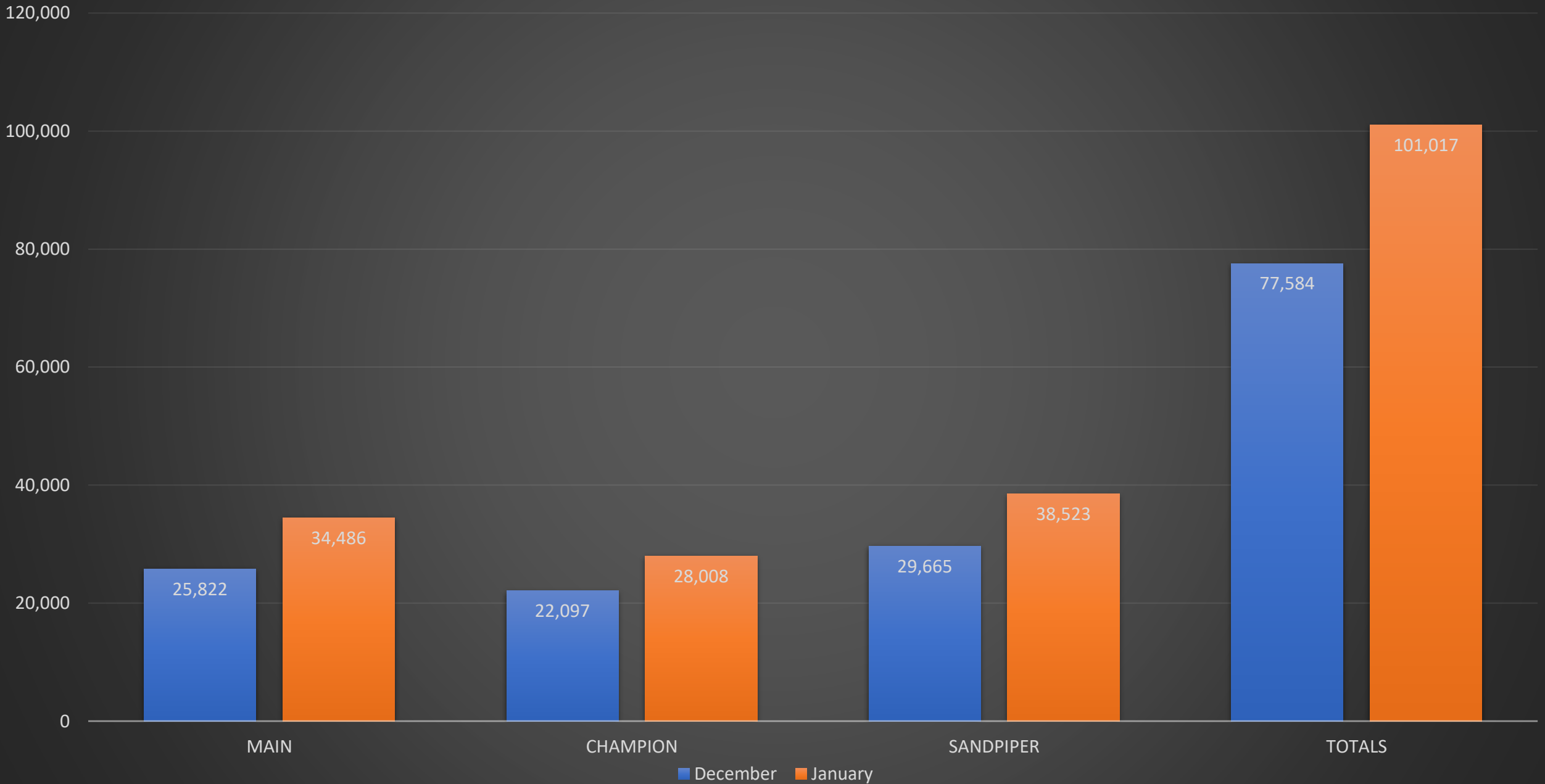


GATEHOUSES and PATROLS

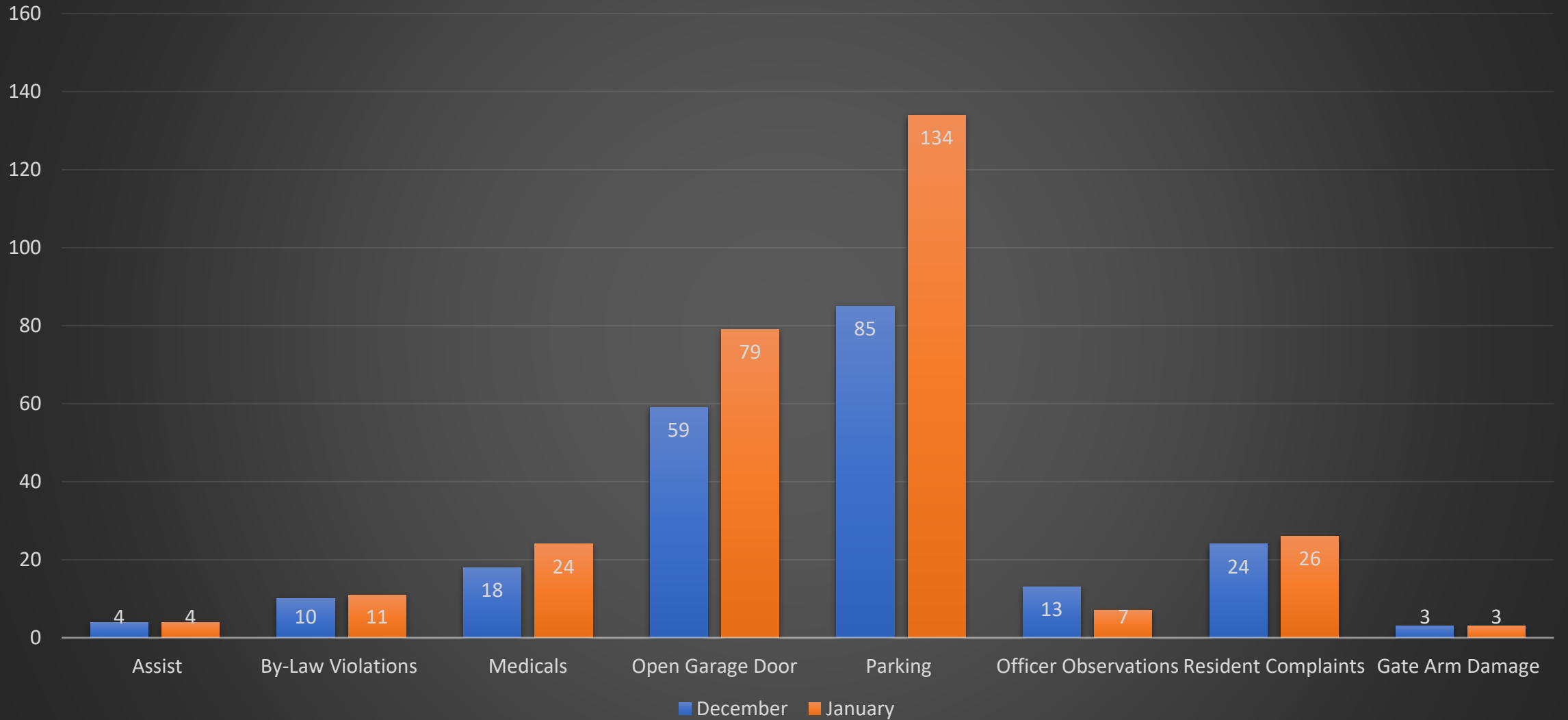
- Sandpiper, Championship, Main
- 24x7
- 2 Patrols per shift.
- 24x7



GATE HOUSE ACTIVITY: December 2023-January 2024



Incident Reports: December 2023-January 2024

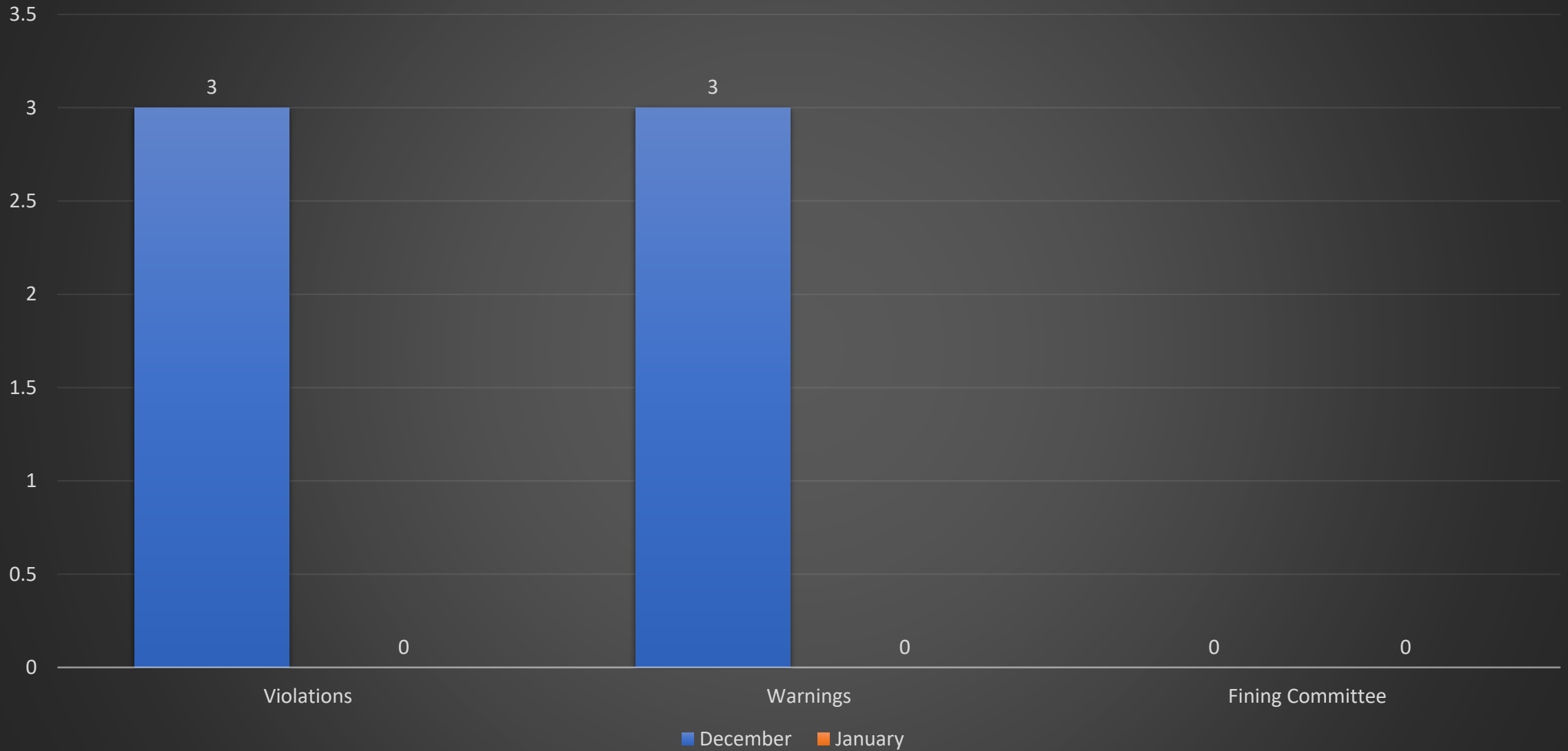


SPEED DETECTION and ENFORCEMENT

- Portable speed detection device
- Deployed throughout Fiddler's Creek at random
- Fixed device located on Cherry Oaks Trail



Traffic Hawk Speeding Violations: December 2023-January 2024



Fiddler's Creek CCSO Statistics

January 1- January 31

Type	#
Extra Patrol	66
Medical Calls	24
Alarm Calls	11
911 Hang-ups	9
Traffic Stops	7
Crashes	4
Total Calls for Service	126

QUESTIONS?

- Thank you



FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1

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www.carter-fence.com
 3490 Shearwater St
 Naples, FL 34117
 (239) 353-4102
 PJ@carter-fence.com



For **ALL** Your Fencing Needs

Estimate #53233
 Date Created: Mon Dec 11, 2023

Customer	Point of Contact
Fiddlers Creek CDD #1: Fiddlers Creek US	Joseph Schmitt jschmitt@comcast.net 239-248-4931

Service Location	Billing Address
8152 Fiddlers Creek Pkwy Naples, FL 34114-9430	Billing Address:

Item(s)		
Qty	Name	Description
1	Mobilization: Collier County	
1	Chain Link Fence: 8'H	<p>***PERIMETER FENCE REPAIR***</p> <p>Type: Vinyl Coated (Black) (2.5" x SS40) Line Post set 10' O.C. (3" x SS40) Terminal Post (1 5/8" x SS40) Top Rail (9 Gauge) Wire; K/T Bottom Tension Wire</p> <p>**SCOPE OF WORK**</p> <ul style="list-style-type: none"> - Remove/Replace (2) Line Posts - Remove/Replace (1) Terminal Post - Remove/Replace (20') of Wire - Add bottom tension wire on entire 600' of Fence Line
30	Chain Link Fence: 8'H	<p>***PERIMETER FENCE***</p> <p>Type: Vinyl Coated (Black) (2.5" x SS40) Line Post set 10' O.C. (3" x SS40) Terminal Post (1 5/8" x SS40) Top Rail (9 Gauge) Wire; K/T Bottom Tension Wire</p>
1	General Clauses	<p>Thank you for choosing Carter Fence! Please mind the following clauses about your future fencing. Not all clauses may apply to this project:</p> <p>*Estimate and Layout Approval*: Please review attached layout. By signing this proposal you are agreeing to the layout provided, thus agreeing to all terms and conditions.</p> <p>*Industry Issues*: Due to COVID-19, industry pricing is fluctuating rapidly. Therefore, this estimate is only good for (2) weeks after it has been issued to customer. Please allow time for estimator to review pricing again if the estimate is older than (2) weeks. Thank you for your patience.</p> <p>*Clear Path for Installation*: Please have at minimum a 2' wide space cleared</p>

on the installation side of the fence. All brush/foliage/refuse/debris must be cleared or we will not be able to install.

--IF ASKED TO CUT BACK OR TRIM ANY PLANTS/HEDGES, CARTER FENCE ASSUMES NO LIABILITY FOR DAMAGE--

Spoils (dirt from digging): The dirt is normally dispersed along the fence line. If Carter Fence is to take the dirt back with them, there will be additional charges. Please ask your estimator if you have any questions on this.

Cap Rock: If cap rock is present, an additional \$25.00 PER HOLE will be charged for hard digging.

Public Locates: Carter Fence will call for all public utilities to be located (Power, Water, Sewage, Phone, Internet, etc.). HOWEVER, we are NOT responsible for any private utilities such as pool equipment, pool equipment piping, sprinkler heads or lines, or anything that doesn't fall under "Public Utilities".

Pets/Dogs: While a fence is a great way to give pets a free run in your yard, the fence will still be level as can be, which sometimes allows gaps on the bottom where pets could get out. The final grading will need to be done by landscapers or the customer after the fence installation to close all gaps. Carter Fence is not responsible for pets getting in or out.

Removal: Any removal of fencing not included in proposal will be at \$5/LF

IF THERE IS AN OPTION LISTED ON THE PROPOSAL, PLEASE SIGN YOUR INITIALS NEXT TO THE LINE ITEM TO CONFIRM YOU WOULD LIKE TO PROCEED WITH THIS OPTION

Total \$6,160.68

Estimate Notes

Perimeter Fence Repair

Signature

Date

Print Name:

For all customers we require a 50% deposit from you before any installation date can be given. If a Contract or Purchase Order is provided then a 50% deposit is not required. Payment Methods Accepted: Cash, Check or Credit Card. If you would like to make a payment on our website using a credit card, please go to the following link: <https://carter-fence.com/transaction-form/> (Please note: A 3% convenience fee will apply)

Introducing to you our new FIVE YEAR WARRANTY! We stand behind our workmanship by offering this to you.



Thank you for your business. We look forward to working with you!

TERMS AND CONDITIONS



BY SIGNING OR GIVING WRITTEN CONSENT TO MOVE FORWARD WITH THIS CONTRACT, WE (I) AGREE TO PAY FOR THE SERVICES NOTED ABOVE AND ALL THE SERVICES HERETOFORE OR HEREAFTER PURCHASED OR ORDERED FROM YOU TOGETHER. CARTER FENCE CO. INC. WARRANTS THE FENCE AGAINST DEFECTS IN MATERIALS FOR A PERIOD OF ONE YEAR AND WORKMANSHIP FOR A PERIOD OF FIVE YEARS FROM THE DATE OF COMPLETED INSTALLATION. IF ANY DEFECT EXISTS AND IS REPORTED TO CARTER FENCE CO. INC. WITHIN ONE YEAR, CARTER FENCE WILL REPAIR OR REPLACE ANY DEFECT WITHOUT CHARGE DURING NORMAL WORKING HOURS. IF ANY DEFECT EXISTS AND IS REPORTED ON POOR WORKMANSHIP, CARTER FENCE WILL REPAIR AND REPLACE ANY DEFECT WITHOUT CHARGE DURING NORMAL WORKING HOURS. BUYER AUTHORIZES WORK TO COMMENCE AND AGREES TO PAY PRICE DESCRIBED. IF ADDITIONAL MATERIALS OR LABOR IS PERFORMED THERE WILL BE ADDITIONAL CHARGES ON FINAL INVOICE. IF WE QUOTED YOU MORE MATERIAL THAN NEEDED, WE WILL DEDUCT THIS ON YOUR FINAL INVOICE. PAYMENT IS DUE UPON COMPLETION OF WORK. IF PAYMENT IS DELINQUENT AFTER 10 DAYS, A 1.5% MONTHLY FINANCE CHARGE WILL BE BILLED ON THE BALANCE DUE. ALL COSTS INCURRED TO COLLECT A DELINQUENT ACCOUNT WILL BE ADDED TO THE BALANCE DUE AND ARE THE RESPONSIBILITY OF THE OWNER. CUSTOMER HEREBY ASSUMES FULL RESPONSIBILITY FOR LOCATING FENCES LINES AND ALL UNDERGROUND CABLES, LINES, AND PIPES. CARTER FENCE CO. INC. IS NOT RESPONSIBLE FOR DAMAGES TO UNDERGROUND UTILITIES NOT IDENTIFIED BY OWNER. ESTIMATES ARE ONLY VALID FOR 10 DAYS AFTER THE DATE THEY ARE CREATED. CARTER FENCE CO. INC. REQUIRES 48 HOURS FOR ANY CANCELLATION OR RESCHEDULING PRIOR TO THE INSTALLATION DATE THAT IS GIVEN VIA EMAIL. PLEASE NOTE A \$500 FEE WILL BE ADDED TO THE FINAL INVOICE IF THESE TERMS ARE NOT MET.

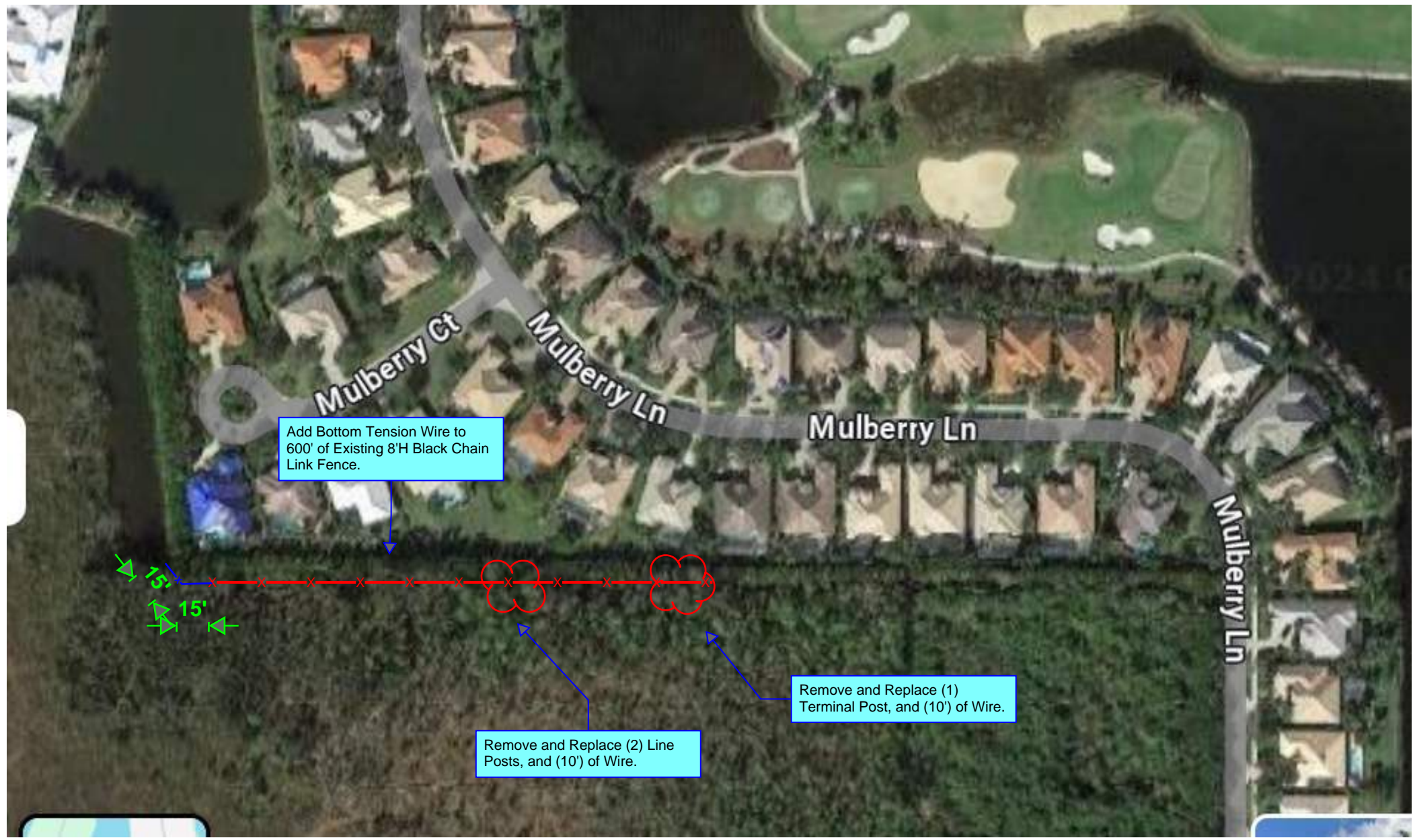


NORTH

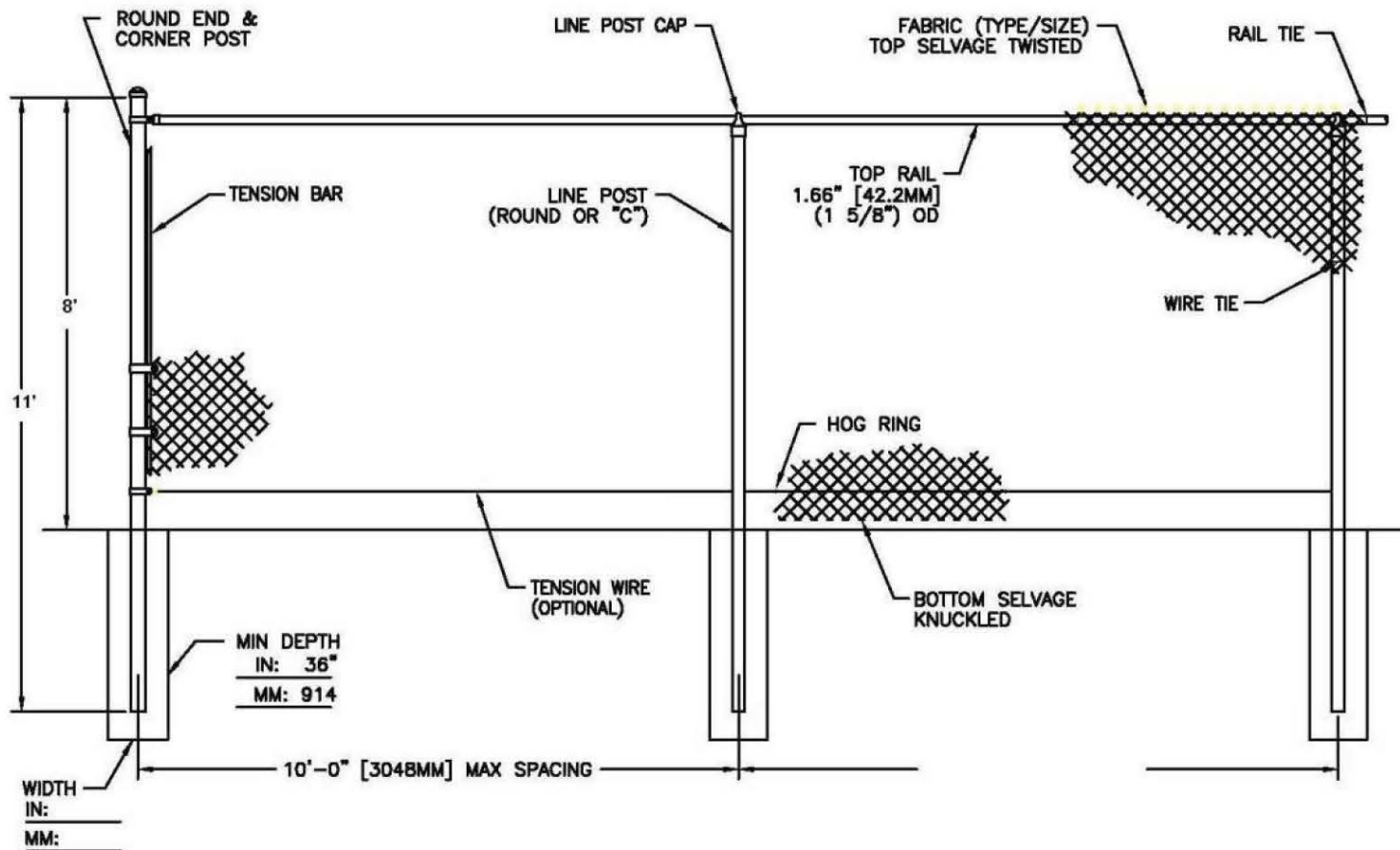


Legend

Description	Quantity
 8'H Black Chain Link Fence	30
 Existing 8'H Black Chain Link Fence	1







NOTES:

1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
2. SPECIFICATIONS SHOWN CAN BE CHANGED BY THE MANUFACTURER ONLY.
3. FOOTING WIDTH TO BE (4)X POST WIDTH.



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ALL RIGHTS RESERVED

Merchants Metals®
the first name in fence solutions

TYPICAL FENCE SECTION

TYPICAL FENCE ELEVATION
TOP RAIL / NO BRACE RAIL

BY: FJR

DATE: 05/19/05

REV: A

DWG. NO.

SDM-134

SCALE:

1:40

FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1

9

FIRST AMENDMENT TO INTERLOCAL AGREEMENT
[IRRIGATION DISTRIBUTION LINES]

This First Amendment To Interlocal Agreement [Irrigation Distribution Lines] ("First Amendment") is entered into as of this 17 day of DECEMBER, 2014, by and between the FIDDLERS CREEK COMMUNITY DEVELOPMENT DISTRICT 1, a community development district established pursuant to Chapter 190, Florida Statutes (hereinafter referred to as "FIDDLERS 1"); and the FIDDLERS CREEK COMMUNITY DEVELOPMENT DISTRICT NO. 2, a community development district established pursuant to Chapter 190, Florida Statutes (hereinafter referred to as "FIDDLERS 2").

WHEREAS, the parties hereto are the same parties to that certain Amended and Restated Interlocal Agreement entered into as of the 22nd day of April, 2009 (the "Agreement"); and,

WHEREAS, FIDDLERS 1 and FIDDLERS 2 each own irrigation water distribution lines within the boundaries of each respective district, such irrigation water distribution lines being as are depicted and identified on the attached Exhibit "A"; and,

WHEREAS, the Agreement currently provides that the allocation of the capital costs, operating costs or maintenance costs of the irrigation water distribution facilities, including the irrigation water distribution lines, are borne by FIDDLERS 1 and FIDDLERS 2 on an equitable pro-rata basis; and,

WHEREAS, FIDDLERS 1 and FIDDLERS 2 wish to amend the Agreement to clarify that the capital costs of each of FIDDLERS 1 and FIDDLERS 2 irrigation water distribution lines shall be borne by the respective district that owns such irrigation water distribution lines.

WHEREAS, the parties to the Agreement desire to amend the Agreement hereby.

WITNESSETH

That for and in consideration of the premises and the sum of Ten and 00/100 Dollars (\$10.00) and other good and valuable consideration exchanged from one party to the other, receipt of which is acknowledged, the aforesaid FIDDLERS 1 and FIDDLERS 2 hereby enter into this First Amendment To Interlocal Agreement [Irrigation Distribution Lines].

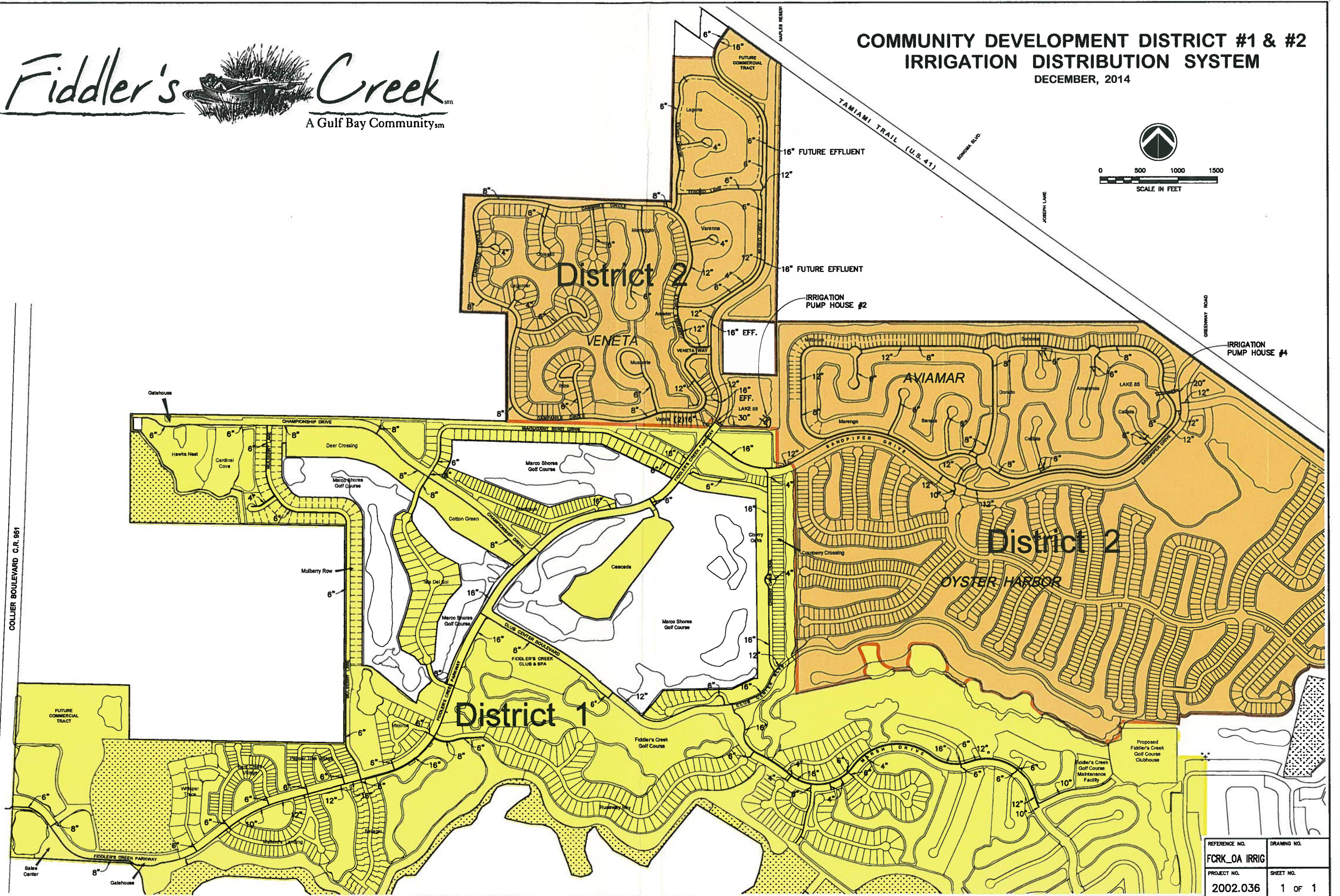
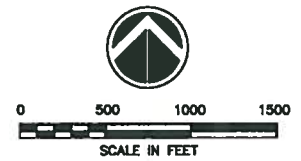
1. Paragraph 1 of the Agreement is amended by adding the following language at the end of Paragraph 1:

" FIDDLERS 1 and FIDDLERS 2 each own irrigation water distribution lines within the boundaries of each respective district, such individually owned irrigation water distribution lines being depicted and identified on the attached Exhibit "A". Notwithstanding the provisions of Paragraph 1 above herein, each of the parties is solely responsible for the capital costs, operating costs and maintenance costs associated with its respective irrigation water distribution lines, as such individually owned irrigation water distribution lines are depicted

EXHIBIT "A"

TO

FIRST AMENDMENT TO INTERLOCAL AGREEMENT
[IRRIGATION DISTRIBUTION LINES]



I:\Users\jw8070\OneDrive\Projects\Fiddler's Creek\DA Irrig.dwg 500hp Dec 16, 2014 - 10:21am Plotted by Jambeth

REFERENCE NO.	DRAWING NO.
FCRK_OA IRRIG	
PROJECT NO.	SHEET NO.
2002.036	1 OF 1

INTERLOCAL AGREEMENT

This Interlocal Agreement entered into this 24th day of October, 2007, by and between the FIDDLERS CREEK COMMUNITY DEVELOPMENT DISTRICT #1, a community development district established pursuant to Chapter 190, Florida Statutes (hereinafter referred to as "FIDDLERS 1"); and the FIDDLERS CREEK COMMUNITY DEVELOPMENT DISTRICT #2, a community development district established pursuant to Chapter 190, Florida Statutes (hereinafter referred to as "FIDDLERS 2").

WHEREAS, FIDDLERS 1 and FIDDLERS 2 have been established as community development districts pursuant to the procedures outlined within Chapter 190, Florida Statutes; and,

WHEREAS, pursuant to Florida Statutes, said community development districts have the right, authority and power to own, acquire, possess and maintain property, facilities and improvements necessary and appropriate to perform the powers, duties and obligations of said community development districts within the areas described on Exhibit "A" as to FIDDLERS 1, and Exhibit "B" as to FIDDLERS 2; and,

WHEREAS, it has been determined by the respective Boards of Supervisors for each of said community development districts that it would be an efficient utilization of certain property, improvements, facilities, personnel and equipment [particularly those related to access control and irrigation water supply and distribution] to enter into an Interlocal Agreement pursuant to the provisions of Section 190.011(12), Florida Statutes and Part I of Chapter 163, Florida Statutes, the "Florida Interlocal Cooperation Act of 1969", as amended, in order to more economically utilize certain property, improvements, facilities, personnel and equipment related to access control and

irrigation water supply and distribution, in a manner advantageous to all and to annually allocate the costs thereof on an equitable pro-rata basis; and,

WHEREAS, Wrathell, Hart Hunt & Associates, LLC., (hereinafter "District Manager"), pursuant to contracts with each of said districts, operates as district manager for each said district and has the resources and ability to calculate and allocate workload, resources and the financial contributions of each of said districts under this Agreement; and,

WHEREAS, an efficient utilization of property, improvements, facilities, personnel, equipment and vehicles related to access control and irrigation water supply and distribution will be realized by shared use and it is more economical for said districts to share said property, improvements, facilities, personnel, equipment and vehicles in the manner outlined herein.

NOW THEREFORE,

WITNESSETH

That for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) and other good and valuable consideration exchanged from one party to the other, the aforesaid FIDDLERS 1 and FIDDLERS 2 hereby enter into this Interlocal Agreement.

1. FIDDLERS 1 and FIDDLERS 2 agree, for the fiscal year beginning October 1, 2007 and ending September 30, 2008 that as they will jointly be utilizing the property, improvements, facilities, personnel, equipment and vehicles of each district related to access control and irrigation water supply and distribution, they will do so with the supervision and coordination of the district manager for each district; and with the allocation, on an equitable pro-rata basis, as calculated by the District

Manager, of the cost of the property, improvements, facilities, personnel and equipment resources necessary related to access control and irrigation water supply and distribution, as outlined in the respective line items for same contained within the adopted budget of each district, a true and correct copy of said adopted budget for each said district being attached hereto and made a part hereof as Exhibit "C". The parties hereto agree that any proposed increase in the cost to provide said services shall require the prior approval of the Board of Supervisors of each district.

2. The parties hereto agree that any contracts with outside parties that are necessary or required to provide the services described herein for which the costs are shared by the districts, shall be required to obtain the approval of the Board of Supervisors of each district .

3. Any change in the allocation of the capital costs, operating costs or maintenance costs of the shared use of property, improvements, facilities, personnel and equipment under this Agreement shall be required to obtain the approval of the Board of Supervisors of each district.

4. A. Payments required to be made to provide the financial resources to be contributed by each of said parties hereto will be made as calculated by the District Manager. Said payments shall be made out of the appropriate budget accounts pursuant to the budgets adopted by each district and payments to personnel, vendors and lessors shall then be made by the District Manager.

B. Each party shall continue to maintain insurance coverage as determined by the District Manager with each other district named as additional named insured on such insurance policies.

5. A. This Interlocal Agreement shall remain in force and effect until September 30, 2008, after which time, on October 1, 2008 and each October 1st thereafter (the "Anniversary Date"), it shall be automatically extended for an additional one (1) year term [with a corresponding substitution of Exhibit "C" to reflect the forthcoming year's budgeted allocation for each district] unless any party advises the other party, in writing, not less than sixty (60) days prior to the Anniversary Date, that said party wishes to terminate this Interlocal Agreement, in which event this Interlocal Agreement shall terminate on the Anniversary Date. No party may otherwise terminate this Interlocal Agreement during the course of any fiscal year.

B. Each party shall deliver to the other, not less than 120 days prior to the Anniversary Date, a copy of that portion of each party's proposed upcoming budget attributable to access control and irrigation water supply and distribution for the next ensuing fiscal year. If any party believes that the other party has not proposed a budget for access control and irrigation water supply and distribution to provide for the allocation of the costs between the parties on an equitable pro-rata basis, then the District Manager shall attempt to mediate and reconcile the differences between the parties by meeting with the Chair(s) of each district [consistent with the requirements of the Sunshine Law] and report the results of said efforts to the parties.

C. If any party breaches any of the provisions of Paragraphs 2, 3 or 4 above, which breach continues for a period of 15 days after receipt of written notice thereof from the other party, then the non-breaching party may terminate this Agreement upon not less than 30 days written notice to the other party.

6 The employment of the personnel necessary to perform the activities

outlined herein shall be made by the District Manager.

7. The ownership, possession and custody of the property, improvements, and facilities necessary to be utilized shall be that of each district as their respective interests shall appear as of the date of execution of this Agreement. As to personal property which is the subject matter of leases, the parties hereto agree to execute any consents or approvals required by any third parties under any existing leases to utilize said personal property in the manner outlined in this Agreement.

8. This Interlocal Agreement shall be recorded in the Public Records of Collier County, Florida and shall be binding upon all the parties hereto and their respective successors and assigns.

9. Any notices required to be provided hereunder shall be provided to the Registered Agent for the respective district.

ATTEST:


Secretary/Assistant Secretary

FIDDLERS CREEK COMMUNITY
DEVELOPMENT DISTRICT #1


Chairman/Vice Chairman

ATTEST:


Secretary/Assistant Secretary

FIDDLERS CREEK COMMUNITY
DEVELOPMENT DISTRICT # 2


Chairman/Vice Chairman

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1**

**UNAUDITED
FINANCIAL
STATEMENTS**

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT #1
FINANCIAL STATEMENTS
UNAUDITED
JANUARY 31, 2024**

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT #1
BALANCE SHEET
GOVERNMENTAL FUNDS
JANUARY 31, 2024**

	General 001	Debt Service Series 2014-1 Refunded 2002B	Debt Service Series 2014-2A Refunded 2002A	Debt Service Series 2014-2B Refunded 2002A	Debt Service Series 2014-3 Refunded 2005	Debt Service Series 2014-4 Refunded 2005	Total Governmental Funds
ASSETS							
Operating accounts							
SunTrust	\$ 1,559,079	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,559,079
Assessment account-Horizons Bank	304,355	-	-	-	-	-	304,355
Centennial Bank - MMA	78,407	-	-	-	-	-	78,407
Finemark - MMA	249,954	-	-	-	-	-	249,954
Finemark - ICS	2,276,205	-	-	-	-	-	2,276,205
Investments							
Revenue	-	547,018	100	354,772	194	27	902,111
Reserve - series B	-	-	-	100,877	-	-	100,877
Prepayment	-	-	1,038	11,590	-	-	12,628
Prepayment - 2002B exchange	-	68,527	-	-	-	-	68,527
Undeposited funds	-	-	-	33,191	-	-	33,191
Due from developer	94,160	-	-	-	-	-	94,160
Prepaid expense	1,262	-	-	-	-	-	1,262
Deposits	5,125	-	-	-	-	-	5,125
Total assets	<u>\$ 4,568,547</u>	<u>\$ 615,545</u>	<u>\$ 1,138</u>	<u>\$ 500,430</u>	<u>\$ 194</u>	<u>\$ 27</u>	<u>\$ 5,685,881</u>
LIABILITIES & FUND BALANCES							
Liabilities:							
Due to Fiddler's Creek CDD #2	178,196	-	-	-	-	-	178,196
Total liabilities	<u>178,196</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>178,196</u>
DEFERRED INFLOWS OF RESOURCES							
Deferred receipts	94,160	-	-	-	-	-	94,160
Total deferred inflows of resources	<u>94,160</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>94,160</u>
Fund balances:							
Restricted for							
Debt service	-	615,545	1,138	500,430	194	27	1,117,334
Unassigned	4,296,191	-	-	-	-	-	4,296,191
Total fund balances	<u>4,296,191</u>	<u>615,545</u>	<u>1,138</u>	<u>500,430</u>	<u>194</u>	<u>27</u>	<u>5,413,525</u>
Total liabilities, deferred inflows of resources and fund balances	<u>\$ 4,568,547</u>	<u>\$ 615,545</u>	<u>\$ 1,138</u>	<u>\$ 500,430</u>	<u>\$ 194</u>	<u>\$ 27</u>	<u>\$ 5,685,881</u>

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT #1
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
GENERAL FUND 001
FOR THE PERIOD ENDED JANUARY 31, 2024**

	Current Month	Year To Date	Budget	% of Budget
REVENUES				
Assessment levy	\$ -	\$ 2,143,183	\$ 2,447,916	88%
Assessment levy: off-roll	-	-	376,642	0%
Interest	9,888	39,222	50,000	78%
Total revenues	<u>9,888</u>	<u>2,182,405</u>	<u>2,874,558</u>	76%
EXPENDITURES				
Administrative				
Supervisors	1,077	1,938	12,918	15%
Management	5,044	20,175	60,525	33%
Assessment roll preparation	2,124	8,497	25,490	33%
Accounting services	1,647	6,588	19,764	33%
Audit	-	-	15,400	0%
Legal	4,338	10,298	25,000	41%
Legal - special counsel	2,497	3,146	-	N/A
Engineering	-	4,431	50,000	9%
Telephone	72	289	867	33%
Postage	428	602	2,300	26%
Insurance	-	29,929	34,000	88%
Printing and binding	55	220	659	33%
Legal advertising	329	707	2,000	35%
Office supplies	-	-	750	0%
Annual district filing fee	-	175	175	100%
Trustee	-	-	15,500	0%
Arbitrage rebate calculation	-	-	4,000	0%
Contingencies	51	284	4,000	7%
Website/ADA website compliance	-	210	920	23%
Dissemination agent	986	3,943	11,828	33%
Total administrative	<u>18,648</u>	<u>91,432</u>	<u>286,096</u>	32%
Field management				
Field management services	2,186	8,745	26,237	33%
Total field management	<u>2,186</u>	<u>8,745</u>	<u>26,237</u>	33%
Water management maintenance				
Other contractual	21,550	40,110	317,858	13%
Fountains	4,756	27,395	90,000	30%
Total water management maintenance	<u>26,306</u>	<u>67,505</u>	<u>407,858</u>	17%
Street lighting				
Contractual services	20,412	22,484	15,000	150%
Electricity	3,046	11,640	36,000	32%
Holiday lighting program	7,500	15,000	16,500	91%
Miscellaneous	-	-	17,500	0%
Total street lighting	<u>30,958</u>	<u>49,124</u>	<u>85,000</u>	58%

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT #1
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
GENERAL FUND 001
FOR THE PERIOD ENDED JANUARY 31, 2024**

	Current Month	Year To Date	Budget	% of Budget
Landscaping				
Other contractual - landscape maintenance	70,284	304,372	942,000	32%
Other contractual - flowers	-	19,970	52,000	38%
Improvements and renovations	6,020	6,020	195,000	3%
Contingencies	-	-	15,000	0%
Total landscaping	<u>76,304</u>	<u>330,362</u>	<u>1,204,000</u>	27%
Roadway				
Roadway maintenance	14,411	71,581	85,000	84%
Capital outlay	<u>27,788</u>	<u>27,788</u>	<u>40,000</u>	69%
Total roadway	<u>42,199</u>	<u>99,369</u>	<u>125,000</u>	79%
Irrigation supply				
Electricity	83	217	750	29%
Repairs and maintenance	177	177	50,000	0%
Other contractual-irrigation manager	-	-	52,500	0%
Capital outlay	-	203,494	-	N/A
Supply system	<u>9,870</u>	<u>54,213</u>	<u>579,150</u>	9%
Total irrigation supply	<u>10,130</u>	<u>258,101</u>	<u>682,400</u>	38%
Other fees & charges				
Property appraiser	-	12,240	38,249	32%
Tax collector	<u>-</u>	<u>42,824</u>	<u>50,998</u>	84%
Total other fees & charges	<u>-</u>	<u>55,064</u>	<u>89,247</u>	62%
Total expenditures	<u>206,731</u>	<u>959,702</u>	<u>2,905,838</u>	33%
Excess/(deficiency) of revenues over/(under) expenditures	(196,843)	1,222,703	(31,280)	
Fund balances - beginning	4,493,034	3,073,488	2,797,711	
Assigned				
Working capital	706,133	706,133	706,133	
Sandpiper traffic signal obligation	352,000	352,000	352,000	
Future Irr. mainline breaks	100,000	100,000	100,000	
Unassigned	<u>3,138,058</u>	<u>3,138,058</u>	<u>1,608,298</u>	
Fund balances - ending	<u>\$ 4,296,191</u>	<u>\$ 4,296,191</u>	<u>\$ 2,766,431</u>	

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT #1
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND SERIES 2014-1 (REFUNDED SERIES 2002B)
FOR THE PERIOD ENDED JANUARY 31, 2024**

	<u>Current Month</u>	<u>Year To Date</u>	<u>Budget</u>	<u>% of Budget</u>
REVENUES				
Assessment levy: on-roll - net	\$ -	\$ 347,180	\$ 391,680	89%
Assessment prepayments	-	67,762	-	N/A
Interest	2,011	5,468	-	N/A
Total revenues	<u>2,011</u>	<u>420,410</u>	<u>391,680</u>	107%
EXPENDITURES				
Debt service				
Principal	-	-	200,000	0%
Interest	-	90,597	181,194	50%
Total debt service	<u>-</u>	<u>90,597</u>	<u>381,194</u>	24%
Other fees & charges				
Property appraiser	-	-	6,120	0%
Tax collector	-	6,937	8,160	85%
Total other fees & charges	<u>-</u>	<u>6,937</u>	<u>14,280</u>	49%
Total expenditures	<u>-</u>	<u>97,534</u>	<u>395,474</u>	25%
Excess/(deficiency) of revenues over/(under) expenditures	2,011	322,876	(3,794)	
Fund balances - beginning	613,534	292,669	264,183	
Fund balances - ending	<u>\$ 615,545</u>	<u>\$ 615,545</u>	<u>\$ 260,389</u>	

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT #1
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND SERIES 2014-2A (REFUNDED SERIES 2002A)
FOR THE PERIOD ENDED JANUARY 31, 2024**

	Current Month	Year To Date	Budget	% of Budget
REVENUES				
Assessment levy: off-roll	\$ -	\$ -	\$ 444,722	0%
Interest	5	117	-	N/A
Total revenues	<u>5</u>	<u>117</u>	<u>444,722</u>	0%
EXPENDITURES				
Debt service				
Principal	-	-	185,000	0%
Interest	-	89,031	178,063	50%
Total expenditures	<u>-</u>	<u>89,031</u>	<u>363,063</u>	25%
Excess/(deficiency) of revenues over/(under) expenditures	5	(88,914)	81,659	
Fund balances - beginning	1,133	90,052	1,013	
Fund balances - ending	<u>\$ 1,138</u>	<u>\$ 1,138</u>	<u>\$ 82,672</u>	

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT #1
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND SERIES 2014-2B (REFUNDED SERIES 2002A)
FOR THE PERIOD ENDED JANUARY 31, 2024**

	Current Month	Year To Date	Budget	% of Budget
REVENUES				
Assessment levy: on-roll - net	\$ -	\$ 145,779	\$ 210,528	69%
Interest	1,878	6,828	-	N/A
Total revenues	<u>1,878</u>	<u>152,607</u>	<u>210,528</u>	72%
EXPENDITURES				
Debt service				
Principal	-	-	85,000	0%
Principal prepayment	-	30,000	-	N/A
Interest	-	39,875	79,750	50%
Total debt service	<u>-</u>	<u>69,875</u>	<u>164,750</u>	42%
Other fees & charges				
Property appraiser	-	-	3,290	0%
Tax collector	-	2,913	4,386	66%
Total other fees & charges	<u>-</u>	<u>2,913</u>	<u>7,676</u>	38%
Total expenditures	<u>-</u>	<u>72,788</u>	<u>172,426</u>	42%
Excess/(deficiency) of revenues over/(under) expenditures	1,878	79,819	38,102	
Fund balances - beginning	498,552	420,611	411,357	
Fund balances - ending	<u>\$ 500,430</u>	<u>\$ 500,430</u>	<u>\$ 449,459</u>	

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT #1
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND SERIES 2014-3 (REFUNDED SERIES 2005)
FOR THE PERIOD ENDED JANUARY 31, 2024**

	<u>Current Month</u>	<u>Year To Date</u>	<u>Budget</u>	<u>% of Budget</u>
REVENUES				
Assessment levy: off-roll	\$ -	\$ -	\$ 759,650	0%
Interest	1	194	-	N/A
Total revenues	<u>1</u>	<u>194</u>	<u>759,650</u>	0%
EXPENDITURES				
Debt service				
Principal	-	-	245,000	0%
Interest	-	174,000	348,000	50%
Total expenditures	<u>-</u>	<u>174,000</u>	<u>593,000</u>	29%
Excess/(deficiency) of revenues over/(under) expenditures	1	(173,806)	166,650	
Fund balances - beginning	193	174,000	-	
Fund balances - ending	<u>\$ 194</u>	<u>\$ 194</u>	<u>\$ 166,650</u>	

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT #1
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND SERIES 2014-4 (REFUNDED SERIES 2005)
FOR THE PERIOD ENDED JANUARY 31, 2024**

	<u>Current Month</u>	<u>Year To Date</u>	<u>Budget</u>	<u>% of Budget</u>
REVENUES				
Assessment levy: off-roll	\$ -	\$ -	\$ 804,978	0%
Interest	-	27	-	N/A
Total revenues	<u>-</u>	<u>27</u>	<u>804,978</u>	0%
EXPENDITURES				
Debt service				
Principal	-	-	260,000	0%
Interest	-	183,750	367,500	50%
Total expenditures	<u>-</u>	<u>183,750</u>	<u>627,500</u>	29%
Excess/(deficiency) of revenues over/(under) expenditures	-	(183,723)	177,478	
Fund balances - beginning	<u>27</u>	<u>183,750</u>	<u>(1,528)</u>	
Fund balances - ending	<u>\$ 27</u>	<u>\$ 27</u>	<u>\$ 175,950</u>	

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1**

MINUTES

DRAFT

MINUTES OF MEETING

FIDDLER’S CREEK COMMUNITY DEVELOPMENT DISTRICT #1

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The Board of Supervisors of the Fiddler’s Creek Community Development District #1 held a Regular Meeting on January 24, 2024 at 8:00 a.m., at the Fiddler’s Creek Club and Spa, 3470 Club Center Boulevard, Naples, Florida 34114.

Present at the meeting were:

Robert Slater	Chair
Joseph Schmitt	Vice Chair
Torben Christensen	Assistant Secretary
Joseph Badessa	Assistant Secretary
Frank Weinberg	Assistant Secretary

Also present:

Chuck Adams	District Manager
Cleo Adams	District Manager
Tony Pires	District Counsel
Terry Cole	District Engineer
Mike Barrow	GulfScapes Landscape Manager
Joe Parisi	Developer General Manager
Ryan Hennessey	Fiddler’s Creek Director of Community Services
Victor Ledezma	Landscape Manager
Alex Kurth	Premier Lakes, Inc.
Alfred Noto	Resident
Mike Cote	Resident, Mulberry Road Village Association President

FIRST ORDER OF BUSINESS

Call to Order/Roll Call

Mrs. Adams called the meeting to order at 8:00 a.m. All Supervisors were present.

SECOND ORDER OF BUSINESS

Public Comments: Non-Agenda Items (3 minutes per speaker)

Resident Alfred Noto discussed what he believes was a small tornado that caused a tree on CDD property to fall onto his property in Montreaux. He discussed an email exchange and thanked Mr. Slater for his excellent email outlining the Statutes that clearly showed that the homeowners are responsible, as he had assumed the CDD is responsible.

44 Resident Mike Cote reserved his comments until the Tenth Order of Business.

45

46 **THIRD ORDER OF BUSINESS**

**Quality Control Lake Report - Premier
Lakes, Inc. (Alex Kurth)**

47

48
49 Mr. Alex Kurth presented the Quality Control Lake Report and highlighted the following:

50 ➤ Continuing efforts are being made to bring torpedo grass under control.

51 ➤ The lakes look very good, with minimal algae present.

52 ➤ Water levels are significantly higher than typical for this time of year, as a lot of rain was
53 received this winter; it is hoped that will be a benefit during the dry season.

54 ➤ Technicians are focusing on the littoral shelf and monitoring isolated submersed weed
55 growth to be treated when appropriate, likely in late March to early May.

56 ➤ Technicians continue monitoring Lake 11, where they went into the Rookery portion of
57 the lake to treat Cristata Lilly on behalf of the CDD. All the plant material was dead and, while it
58 might take a few weeks to clear out, improvement should be observed relatively soon.

59 Asked if he is confident that the Marriott is doing what it is supposed to do, Mr. Kurth
60 stated more will be known when the lilies begin to grow back. He found Marriott staff to be
61 responsive and understanding of the delineation between the CDD's and The Rookery's contract
62 responsibilities. It seems they were not having their contract met but said they will be more on
63 top of their contractor moving forward.

64 Asked why weeds were pulled by hand, Mr. Kurth stated dead material is typically
65 removed by hand to prevent damage, for better aesthetics and/or to prevent dispersing
66 chemicals on windy or rainy days.

67 Mr. Christensen voiced his opinion that the new GIS maps in the agenda are less
68 readable and less informative than the satellite maps. He does not think FC5 is in Premier's
69 system.

70 Mrs. Adams asked for both maps to be included in the agendas.

71 Discussion ensued regarding significant work planned at the golf course, reconfiguration
72 of the shoreline and possible impacts on lake management.

73 Mr. Parisi stated he will provide Mr. Kurth with contact information to ensure that
74 technicians have access to the lakes in designated areas.

75

76 **FOURTH ORDER OF BUSINESS****Health, Safety and Environment Reports**

77

78 **A. Irrigation and Pressure Cleaning Efforts**

79 Mr. Hennessey reviewed the Monthly PowerPoint presentation, which included
80 reminders to report questions, comments or concerns to Irrigation@Fiddlerscreek.com or
81 Pressurewashing@Fiddlerscreek.com or directly to the Safety Department.

82 Mr. Hennessey reported the following:

83 ➤ Trees were trimmed in Veneta and on Sandpiper Drive and Fiddler's Creek Parkway.
84 There will not be much tree trimming in January and February.

85 ➤ The Irrigation Manager made several weekend visits to address satellites that failed to
86 communicate.

87 ➤ Pressure washing is underway on Sandpiper Drive; when complete, crews will proceed
88 to Championship Drive.

89 Mrs. Adams advised of a slip hazard on Mulberry Lane needs to be addressed. Mr.
90 Hennessey stated it will be addressed today.

91 The Board and Staff discussed the area at the south end of Mulberry Lane on the east
92 side, where grass is over-watered and the tree canopy contributes to the problem. Mr. Parisi
93 discussed construction planned in the area and stated he will address the drainage and soil
94 issues when crews are on site.

95 French drains and irrigation were discussed.

96 Mr. Benet stated that zone's run time was greatly reduced; however, the area in
97 question is served by one zone that also serves a sunny area, which presents a challenge.

98 **B. Security and Safety Update**

99 Mr. Hennessey reviewed the monthly PowerPoint presentation, which included
100 reminders to first call 911 in an emergency, followed by reporting the incident or other non-
101 emergency matters to the Community Patrol. Residents can register guests via the member's
102 website, mobile app, calling the Automated Gatehouse or emailing Safety@Fiddlerscreek.com.

103 Mr. Hennessey discussed the ongoing issue of damage to the gate arms, which is
104 generally caused by drivers following too closely. Incidents are recorded on video. He stated
105 that the Safety Committee Meeting held a meeting two weeks ago and an e-blast was sent last
106 week to keep residents informed.

107

108 FIFTH ORDER OF BUSINESS

Developer's Report

109

110 Mr. Parisi reported the following:

111 ➤ Mr. Victor Ledezma was recently hired as Landscape Manager. Mr. Ledezma will review
112 landscaping and provide monthly reports.

113 ➤ Development continues in both Oyster Harbor and Dorado.

114 ➤ The construction compound SIP is being finalized.

115 ➤ The golf clubhouse is still under construction.

116 ➤ Golf course renovations will begin on April 1, 2024.

117 ➤ The north marina construction, which is not on CDD property, will begin in mid to late-
118 March, with projected completion in December.

119 ➤ The Dog Park contracts are being finalized. Collier Paving will begin work shortly.

120 ➤ The contract with the irrigation construction manager for the Baseline system is being
121 finalized. When the contract is finalized, a conceptual design will be presented so that pricing
122 can be determined. Meetings will be held to keep the villages informed; those villages not
123 currently within the system will be brought into the system, at least for the initial feed to the
124 community. Villages not currently on the system, including Bent Creek, Cardinal Cove, and
125 Whisper Trace will be addressed first and efforts will be made to combine communities on a
126 single system and take advantage of economies of scale wherever possible.

127 Mr. Christensen asked when work on the current driving range might begin. Mr. Parisi
128 stated work cannot begin until the new driving range is open. He estimated that the new range
129 will not be open until late April; updates will be provided as soon as possible.

130 Mr. Schmitt asked Mr. Parisi to inspect the cupola at the Championship gatehouse. He
131 noted that the flashing does not seem to match on the roof.

132 Mr. Schmitt stated that there were three submittals to the County for insubstantial
133 changes to construction plans to reduce the speed limit on private roads in Marsh Cove. He
134 thinks the CDD should have been consulted and/or informed, and expressed concern about
135 enforcement. Mr. Parisi discussed the initiative, which was driven by Marsh Cove residents, at
136 their own expense; the engineering work was done by Hole Montes. He noted that signage will
137 be installed. Permission was granted to designate the wide sidewalks as suitable for bicycles
138 and pedestrians and the modifications were done at no cost to the CDD.

139 Discussion ensued regarding keeping the CDD informed. It was noted that there is no
140 CDD infrastructure in Marsh Cove other than drainage.

141 ➤ Mr. Cole will discuss modifications related to the golf course renovation and
142 modifications to the Environmental Resource Permit (ERP).

143

144 **SIXTH ORDER OF BUSINESS**

**Discussion/ Update: Litigation with CDD #2
Regarding Traffic Signal Cost Sharing**

145

146

147 • **Consideration of Mediated Settlement Agreement**

148 Mr. Schmitt presented the Mediated Settlement Agreement.

149 Mr. Parisi noted that mediations are privileged communications.

150 Mr. Schmitt expressed his understanding and noted that, after the Board's vote, he
151 would like to read a statement into the record regarding the background, not the substance of
152 the mediation.

153

154 **On MOTION by Mr. Slater and seconded by Mr. Badessa, with all in favor, the**
155 **Mediated Settlement Agreement, was approved.**

156

157

158 Mr. Schmitt read the following statement of his opinion into the record:

159 "Undoubtedly the Board of Supervisors of CDD #2 are pounding their chest, shouting
160 with delight that they won the argument over the issue of whether CDD #2 is obligated to split
161 the \$200,000 contribution proffered by Halvorsen, LLC, the developer of the Publix shopping
162 center. Just so the public is clear, this issue was never over the fair and equitable funding of the
163 traffic signal at Sandpiper and US-41. According to the original intent of the 2013 Interlocal
164 Agreement between CDD #1 and CDD #2, "In no event shall the cost of design, permitting,
165 installation and construction of the SR-951 traffic signal, and as to the US-41 traffic signal, if
166 approved, in no event shall the amount payable by each District as to the US-41 traffic signal be
167 greater than one half the cost of design, permitting, installation and construction of the US-41
168 traffic signal." In simple terms, the 2013 Interlocal Agreement implied that all costs, less
169 contribution, would be split by 50-50. CDD #2 objected to that position, stating that due to the
170 yet to be defined obligations by Halvorsen, LLC, the \$200,000 contribution was entirely theirs
171 and that they were not obligated to share that contribution with CDD #1. CDD #1 disagreed

172 with CDD #2 and in March 2023 disagreed and voted to continue with the position that all costs
 173 would be split 50-50. CDD #2 objected to CDD #1’s position and subsequently filed for a
 174 Summary Judgment through the courts to compel CDD #1 to fund the cost of construction
 175 without including the contribution from Halvorsen. We were forced to engage representation
 176 and respond legally, and have been in a legal battle since. I believe that CDD #2 knowingly and
 177 willingly attempted to deceive CDD #1 when they entered the agreement with Halvorsen and
 178 the actions of the CDD #2 Board have been dishonest, unprofessional and could be deemed
 179 unethical, but I won’t go down that road. Sadly, no one won. The real losers were the taxpayers
 180 of the community, as CDD #1 wasted approximately \$30,000 in legal fees, and I assess that CDD
 181 #2 has spent similarly the same amount, probably somewhere around \$40,000. And the entire
 182 saga has done irreparable damage to the future trust and relationship between the two CDDs.”

183 Mr. Schmitt asked for his statement be placed in the record. He stated he wants the
 184 public to be aware of his belief that it is probable that \$70,000 was wasted in legal fees and his
 185 feeling that money could have done good for this community but it is over and the Board will
 186 move on.

187 Mr. Slater thanked Mr. Schmitt for presenting CDD #1’s case and opined that the matter
 188 should be a closed matter going forward.

189

190 SEVENTH ORDER OF BUSINESS

**191 Consideration of Resolution 2024-02,
 192 Implementing Section 190.006(3), Florida
 193 Statutes, and Requesting that Collier
 194 County Supervisor of Elections Conducts
 195 the District’s General Election; Providing
 196 for Compensation; Setting for the Terms of
 197 Office; Authorizing Notice of the Qualifying
 198 Period; and Providing for Severability and
 199 an Effective Date**

200 This item was addressed following the Eighth Order of Business.

201

202 EIGHTH ORDER OF BUSINESS

**203 Engineer’s Report: Hole Montes, a
 204 Bowman Company**

205 Mr. Cole discussed the following:

206 ➤ Regarding Mr. Schmitt's email about the sight distance at an intersection exiting
207 Mulberry on the north side, upon review, it was determined that it meets the minimum view
208 triangle requirements; however, the small bush requires maintenance.

209 The consensus was to remove the bush.

210 Mr. Parisi suggested an Engineer schedule inspections throughout the community every
211 six or 12 months to inspect these areas to protect the CDDs and The Foundation from litigation.
212 Mr. Cole stated that was done in the past; he will have Mr. Bob Ferguson inspect. Mrs. Adams
213 stated a motion to that effect is not needed.

214 ➤ Photographs of three catch basins with tops that need to be replaced were submitted.
215 This is an ongoing maintenance item; all catch basins will be inspected and a proposal will be
216 obtained.

217 Mr. Slater asked if all the catch basins in HOA areas are checked. Mr. Cole stated the
218 District Engineer does not check catch basins on private roads.

219 Discussion ensued regarding private versus public roads. It was noted that the only
220 public roads inside of communities are Mulberry, Mahogany and Cherry Oaks Trail; the rest of
221 the side roads are private.

222 Mr. Slater opined that the issue should be raised at village meetings and voiced his
223 belief that Bent Creek has not been checked.

224 Mr. Cole stated, while some of the private roads have drainage dedicated to the CDD,
225 some do not. He will research the matter and advise.

226 ➤ A proposal will be requested from Landshore Enterprises for lake erosion repairs at
227 three lakes. A tree in Whisper Trace is in danger of falling into the lake and additional repairs
228 are scheduled in Cardinal Cove and on Lake 22. If additional areas in need of repair are
229 identified, more might be added. Repairs will be performed in the spring.

230 Mr. Cole distributed a proposal from Collier Paving for sidewalk repairs, mostly along
231 Club Center Boulevard. A new issue that resulted in an alleged claim for a slip and fall incident
232 on Club Center Boulevard was added, as well as several areas on Sandpiper Drive.

233 Mrs. Adams noted that the incident was referred to the insurance company.

234 Mr. Adams presented the proposal for approximately \$26,200 for CDD #1's portion of
235 the project, from the bridge on Sandpiper Drive, which CDD #1 owns, to the west. CDD #2 will
236 receive a proposal for its portion of repairs.

237

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On MOTION by Mr. Weinberg and seconded by Mr. Christensen, with all in favor, the Collier Paving proposal for sidewalk repairs, as discussed and as amended, in the amount of \$26,191.50, was approved.

244

245

246

Mr. Parisi stated he will provide names of contractors from whom competitive bids can be requested. Mr. Cole noted that Collier Paving has been extremely responsive and the CDD had issues with other contractors in the past. Mrs. Adams stated the total is far below the \$195,000 threshold that would require the Request for Proposals (RFP) process.

247

➤ An insubstantial change will be submitted for removal of the guardrail opposite Whisper Trace along Fiddler's Creek Parkway.

249

➤ U.S. 41 and Sandpiper Drive Traffic Signal: The State approved the basis of the cost estimate for the bond. Information related to contractor requirements was submitted by the contractor. These final requirements were met for the permit to be issued; thereafter, Mr. Cole will notify the CDDs and Halvorsen will issue additional funding to CDD #2, as negotiated. The contractor submitted shop drawings for State and County approval. It is anticipated that the signal will be operational at the end of 2024. Total project costs are estimated at \$1.5 million.

255

➤ Asphalt repairs were completed on Championship Drive. A segment east of Cardinal Cove was repaved and potholes were repaired along Championship Drive and elsewhere.

257

➤ Restriping on Fiddler's Creek Parkway was completed in recent weeks.

258

Mr. Cole discussed proposed improvements related to several water management basins that will be modified as a result of the work with the golf course and the realignment of the old Lake 70, which is between what will be known as "Hidden Cove" and the existing golf course. He noted that single-family lots are proposed to be constructed on the site of the old driving range. He discussed the need for modifications to the Environmental Resource Permit (ERP) and stated Mr. Pires and Mr. Adams were provided with a full package, including forms, prepared by Grady Minor. He recommended the Board allow this to proceed.

265

The Board and Staff discussed the improvements, permitting, the Agreements, documents and the effect on off-roll assessments.

267

Mr. Pires noted that sections of the forms are blank. He asked for plans and specifications and voiced his opinion that an Agreement is necessary for the permitting to take place and for the construction activity afterwards.

269

270 Mr. Parisi discussed the Memorandum from Grady Minor.

271 Discussion ensued regarding the necessary modifications to the RFP, responsibility for
272 maintaining the lakes, Engineer’s certifications and possible public notice requirements.

273 Mr. Pires proposed drafting an Agreement between the CDD and the Developer related
274 to the Developer’s engagement of an Engineering firm to design plans and specifications for an
275 ERP modification. The CDD would be the applicant to modify the permits, and be granted
276 necessary easements and a bill of sale, if necessary, as the operating entity liable for the South
277 Florida Water Management District (FWMD) permits.

278

On MOTION by Mr. Schmitt and seconded by Mr. Weinberg, with all in favor, authorizing District Counsel to prepare the documents necessary and forward them to the Developer, for consideration at the next meeting, was approved.

279

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284

- **Consideration of Resolution 2024-02, Implementing Section 190.006(3), Florida Statutes, and Requesting that Collier County Supervisor of Elections Conducts the District’s General Election; Providing for Compensation; Setting for the Terms of Office; Authorizing Notice of the Qualifying Period; and Providing for Severability and an Effective Date**

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This item, previously the Seventh Order of Business, was presented out of order.

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302

On MOTION by Mr. Weinberg and seconded by Mr. Slater, with all in favor, Resolution 2024-02, Implementing Section 190.006(3), Florida Statutes, and Requesting that Collier County Supervisor of Elections Conducts the District’s General Election; Providing for Compensation; Setting for the Terms of Office; Authorizing Notice of the Qualifying Period; and Providing for Severability and an Effective Date, was adopted.

303

304

305 Mr. Pires stated it is helpful for incumbents to complete their continuing education
306 requirement and file the certificate of completion at the time of qualification.

307 The Board and Staff discussed candidate qualifications, the General Election and the
308 search for candidates for the Board.

309 Mr. Slater stated that he plans to retire from the Board and asked if retiring from the
310 Board in advance of the General Election is helpful, as it allows the remaining Board Members
311 to appoint someone. It was noted that, while someone can be appointed for the remainder of
312 the term, the person would still need to run for election in the General Election.

313 • **Consideration of Filter Socks Purchase for Protection of Storm Drain Systems**

314 Mr. Cole discussed the recommendation that the CDD have filter socks on hand so, if an
315 irrigation water main breaks, the filter sock can be used to prevent debris and sand from
316 clogging the drains. Four filter socks and a storage container cost a total of \$556; they would be
317 stored in the irrigation pumphouse building.

318 The Board and Staff discussed the effectiveness and deployment of filter socks and
319 procedures that would be followed in an emergency.

320

**On MOTION by Mr. Schmitt and seconded by Mr. Weinberg, with all in favor,
the purchase of filter socks for the protection of the storm drain systems, as
proposed, was approved.**

324

325

326 **NINTH ORDER OF BUSINESS**

**Consideration of Construction Contract
[Irrigation Pump House #2]**

327

328

329 Mr. Pires presented the Construction Contract, which was previously presented; the
330 current version was edited and rewritten in a simplified format. The Exhibits are unchanged
331 since last presented and the contract includes all changes included in the redlined version.

332 Mr. Schmitt asked who manages this contract. Mr. Cole stated he manages the contract.

333 It was noted that the contract is shared by both CDDs; the building is on CDD #2
334 property. The CDDs share in all aspects of the actual pump station, each paying a percentage of
335 costs based upon the number of door fronts in each CDD.

336 Mr. Pires stated all responsible parties are required to sign the Agreement; the
337 Interlocal Agreement also comes into play. Mr. Schmitt stated he would like to see the

338 Interlocal Agreement before voting on this. Mrs. Adams stated the Interlocal Agreement has
339 been in in place for decades.

340 Mr. Adams stated the expenditure is in the budget.

341 Mr. Parisi requested a copy of the revised contract.

342

On MOTION by Mr. Weinberg and seconded by Mr. Slater, with Mr. Weinberg, Mr. Slater and Mr. Christensen in favor and Mr. Badessa and Mr. Schmitt dissenting, the Construction Contract for Irrigation Pump House #2, was approved. [Motion passed 3-2]

347

348

349 Mrs. Adams stated she will email the Interlocal Agreement to Mr. Schmitt.

350 Mr. Schmitt stated he would like to bring the Interlocal Agreement back for
351 reconsideration by the Board, with the details regarding how the cost share is split and the
352 details utilized in the calculation.

353

354 **TENTH ORDER OF BUSINESS**

Continued Discussion: Mulberry Row Tree Root Damage Repairs

355

356

357 Mr. Cole recalled that trees on Mulberry Row have been a subject of discussion for over
358 a decade. He stated a proposal was submitted for this particular tree and location last year and
359 the Board decided not to take action. A few months later, the Board approved repairs near this
360 location after the homeowner removed the tree and then that area was repaired, the valley
361 gutter was replaced and the paving was done along the road. He believes the proposal cost was
362 approximately \$19,000 when last discussed many months ago. He pointed out in the photos
363 that the tree caused the valley gutters to rise and it has been holding water for many years. He
364 estimated that the proposal will now be \$20,000 and the homeowner will need to remove the
365 tree before the CDD would perform the work.

366 Resident and Mulberry Road Village Association President Mike Cote thanked the Board
367 and Staff for their responsiveness to this issue and stated the generosity and fairness that has
368 been applied here is very much appreciated by his Association and the homeowners. In May
369 2023, when an \$18,000 bill was presented, his HOA deferred a decision in order to make sure
370 homeowners are aware of the liability they will face if they have to pay for the repairs. Since
371 then, they have mounted a big campaign to make homeowners aware of their potential liability

372 if they do not address the trees that are causing damage. He thanked the Board and Staff and
373 stated his feeling that Mr. Schmitt has been instrumental in getting to this point and that he has
374 been firm, fair and diligent with the CDD's money, which, as a taxpayer and a homeowner, he
375 appreciates. In his opinion, Mr. Schmitt has been accessible, deploying CDD resources fairly and
376 timely and Hole Montes' staff has been very professional and handled things correctly up to this
377 point.

378 Mr. Cote stated that, so far, eight trees are being removed out of the 25 that his survey
379 showed need to be removed immediately to prevent major issues with homeowners facing this
380 very issue. He presented the letter to homeowners that was included in the agenda and that he
381 thinks is the last lingering issue in the wave of repairs that were completed by CDD #1 in 2023
382 to get to the point where the HOA can advise the homeowners that, from now on, any issue is
383 the responsibility of the homeowners and they are at the mercy of the CDD #1 Board in how
384 they want to deploy their repair work and the timing and extent of it. He sees this as a sign of
385 things to come and thinks it is part of the last round of repairs and that is how it would be
386 presented to homeowners.

387 Mr. Cote stated Mr. Terry Gray removed one tree and wants to save the other tree but
388 he is willing to remove it and is in the process of doing so. That tree will be removed within one
389 month, at the most. To him, homeowners are doing their part and they are aware of the
390 situation and their liability. Homeowners know that they cannot ignore the situation; they are
391 fortunate and appreciative of Mr. Schmitt and Hole Montes managing the situation. He stated
392 he tried to make it clear that there is a water issue and that the tree will be removed and to ask
393 the CDD to repair the gutter once the tree is removed.

394 Discussion ensued regarding the photographs and the work that the Board decided not
395 to approve in May, which is being proposed again today.

396 Inspection of the area, obstruction of water flow and previous paving in the area were
397 discussed.

398 Mr. Cole stated the problem is that, if the valley gutter is replaced and lowered, the
399 paving will be higher, so it needs to be milled and repaved. Mr. Schmitt discussed the
400 obstructed water flow and the roadway and stated he will defer to his colleagues; he suggested
401 tabling this until the tree is removed.

402 Mr. Slater asked about the 25 trees identified and expressed concern that approving this
403 would infer approval to 24 other trees. Mr. Cote stated that is not necessarily so; he
404 categorized the trees in severity from 2 to 10, with 10 being the worst, and the most severe
405 trees are in the brink but not causing damage. They made homeowners aware that they need
406 to take action now.

407 Mr. Cole stated the last repair and this one are the two worst areas that are holding
408 water and, while some other areas are holding water, they are not as severe.

409 Mr. Slater suggested the matter be presented again, once the tree has been removed.

410 A Board Member opined that, if the CDD pays for this, it should be very clear that this is
411 the last instance. It was noted that several attempts were made to curtail these types of
412 repairs.

413 The consensus was to table this until the tree is removed and a new cost estimate is
414 presented.

415 Discussion ensued regarding CDD #1’s responsibility for public roads.

416 It was noted that any resurfacing or striping on that road is the CDD’s responsibility.

417 Mr. Parisi stated similar issues exist on crossroads, such as Mahogany Bend.

418

419 **ELEVENTH ORDER OF BUSINESS**

**Acceptance of Unaudited Financial
Statements as of December 31, 2023**

420
421

422 • **Breakdown**

423 The Financial Highlights Report was distributed.

424 Mr. Christensen asked why the payment due to CDD #2 has not cleared. Mrs. Adams
425 believes it is related to the pump station; she will inquire with Accounting.

426 Mr. Adams stated the “Legal – special counsel” expenditure shown is only a partial
427 billing; he estimated that the total amount will be closer to \$15,000.

428 Mr. Adams noted that the insured cash sweep account is earning extremely good
429 interest returns. Funds were subsequently moved from FineMark to BankUnited in January for
430 administrative reasons.

431 The financials were accepted.

432

433 **TWELFTH ORDER OF BUSINESS**

Approval of Minutes

434

435 **A. December 13, 2023 Regular Meeting**

436 The following change was made:

437 Line 21: Insert “(via telephone)” after “Beatty”

438

439 **On MOTION by Mr. Slater and seconded by Mr. Weinberg, with all in favor, the**
440 **December 13, 2023 Regular Meeting Minutes, as amended, were approved.**

441

442

443 **B. January 5, 2024 Continued Meeting and Attorney-Client Executive Session**

444

445 **On MOTION by Mr. Slater and seconded by Mr. Weinberg, with all in favor, the**
446 **January 5, 2024 Continued Meeting and Attorney-Client Executive Session**
447 **Minutes, as presented, were approved.**

448

449

450 **THIRTEENTH ORDER OF BUSINESS** **Action/Agenda or Completed Items**

451

452 Items 5, 8, 9, 11, 12, 13, 15, 16 and 17 were completed.

453 Item 1: Mr. Parisi stated, with the departure of Ms. Lord, Mr. Haak will assist.

454 Items 3 and 7 are related and will be combined. The landscaping plan will be sent to Mr.
455 Parisi when the guardrail is removed.

456 Item 10 is related to Cardinal Cove.

457 Item 14: Mr. Hennessey will follow up.

458 Item 18: Mr. Schmitt will meet with Carter Fence on January 26, 2024 about Mulberry
459 Court.

460

461 **FOURTEENTH ORDER OF BUSINESS** **Staff Reports**

462

463 **A. District Counsel: Woodward, Pires and Lombardo, P.A.**

464 There was no report.

465 **B. District Manager: Wrathell, Hunt and Associates, LLC**

- 466 • **NEXT MEETING DATE: February 28, 2024 at 8:00 AM**

- 467 ○ **QUORUM CHECK**

468 All supervisors confirmed their attendance at the February 28, 2024 meeting.

469 **C. Operations Manager: Wrathell, Hunt and Associates, LLC**

470 Mrs. Adams distributed the Monthly Field Operations Report.

471 Mr. Parisi introduced the newly hired Landscape Manager, Mr. Victor Ledezma.

472

473 FIFTEENTH ORDER OF BUSINESS

Supervisors’ Requests

474

475 Mr. Christensen stated he met with Richie and a contractor who proposed to salvage
476 bridge construction stones from the golf course. Mr. Parisi will provide the name of the
477 contractor so that a proposal can be requested.

478 Mr. Slater stated he will likely resign from the Board in June. Mrs. Adams stated the
479 District can provide The Foundation with a Board Vacancy Memo and The Foundation can send
480 it via e-blast to request resumes.

481

482 SIXTEENTH ORDER OF BUSINESS

Public Comments

483

484 There were no public comments.

485

486 SEVENTEENTH ORDER OF BUSINESS

Adjournment

487

488 There being nothing further to discuss, the meeting adjourned at 9:42 a.m.

489

490

491

492

[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

493
494
495
496
497
498

Secretary/Assistant Secretary

Chair/Vice Chair

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1**

**ACTION/AGENDA
ITEMS**

FIDDLER'S CREEK CDD #1

#	MTG DATE ADDED TO LIST	ACTION/ AGENDA OR BOTH	ACTION/AGENDA or COMPLETED ITEM	ONGOING	POSSIBLY DONE BEFORE NXT MTG	COMPLETED	MTG DATE MOVED TO COMPLETED
1	03.27.18	ACTION	Ms. Lord: Status of boundary legal bills. 10.24.18 Pires Lord: Resolve items. 12.09.20 Mr. Pires: Speak w/ Mr. Parisi re CDD legal costs reimbursement. 05.26.21 Mr. Pires: Pursue settlement offer, discuss w/ Mr. Parisi. 06.22.22 Mr. Pires: Send details to Mr. Parisi. 07.27.22 Send pkg 12.14.22/01.25.23 Mr. Pires: Discuss w/ Mr. Parisi. 04.26.23 Send pkg. 05.31.23 Gather add'l doc; email pkg this week. 01.24.24: Mr. Haak will assist.	X			
2	07.26.23	ACTION	Mrs. Adams: Request a proposal for removal of all decorative rock and to paint the Marsh Cove Bridge. 12.13.23 Bridge project to be postponed to a later date, in partnership with golf course.	X			
3	08.23.23	ACTION	Mrs. Adams: Have Mr. Barrow work on landscaping options where guardrail will be removed from Fiddlers Creek Pkwy opposite Whisper Trace & submit to DRC for review & approval. 01.24.24: Send Landscape Plan to Mr. Parisi when guardrail is removed. Mr. Cole: Work on substantial change to remove wooden guardrail opposite of Whisper Trace.	X			
4	09.27.23	ACTION	Mrs. Adams: Work w/ Aquamatic to have valves inspected periodically to ensure operating properly. 10.25.23 Mrs. Adams: Set meeting to include Mr. Benet and Mr. Barrow.	X			
5	10.25.23	ACTION	Mr. Parisi: Send warranty pkg for Championship Dr gatehouse to Mrs. Adams.	X			
6	12.13.23	ACTION	Mr. Barrow: Inspect Cardinal Cove philodendrons; determine if anything can be done & if replacement is responsibility of villages or CDD.	X	X		
7	12.13.23	ACTION	Mr. Hennessey: Ensure Juniper removed dead tree at 7621 Mulberry.	X			
8	12.13.23	ACTION	Mr. Cole/Mr. Prium: Obtain proposal for restriping Fiddler's Creek Pkwy eastbound.	X			
9	12.13.23	ACTION/ AGENDA	Mrs. Adams: Obtain add'l clarification from Carter Fence re: perimeter fence proposal. 01.24.24: Mr. Schmitt: Meet w/Carter Fence on 01.26.24.	X	X		
10	01.24.24	ACTION	Mr. Kurth: Include both the GIS and Satellite Maps in Reports.	X	X		

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1**

**STAFF
REPORTS
A**

AGREEMENT
FOR ACCESS AND CONSTRUCTION
[Basins I, OH, A1, B1, C, H2, H3]

THIS AGREEMENT FOR ACCESS AND CONSTRUCTION (“Agreement”) is made and given this _____ day of _____, 2024 (the “Effective Date”) by and between **FCC GOLF CLUB, LLC**, a Florida limited liability company (“**FCC GOLF**”), with an address of [_____]; **FIDDLER’S CREEK COMMUNITY DEVELOPMENT DISTRICT #1**, a special purpose local government unit established pursuant to the provisions of Ch. 190, F.S. (“**CDD#1**”) and **FIDDLER’S CREEK COMMUNITY DEVELOPMENT DISTRICT #2**, a special purpose local government unit established pursuant to the provisions of Ch. 190, F.S. (“**CDD#2**”); CDD #1 and CDD#2 individually, and at times collectively referred to herein as the CDDS.

RECITALS:

WHEREAS, the CDDS are the owners of the real property described and depicted on the attached **Exhibits “A-1”** and **“A-2”**, in Collier County, Florida (individually the “Property” and collectively the “Properties”); and

WHEREAS, the CDDS hold and possess various drainage, lake, lake maintenance and other easements on, over, across, under and upon the real property described and depicted on the attached **Exhibits “B-1”** and **“B-2”**, in Collier County, Florida (the “Easements”); and,

WHEREAS, the CDDS are special purpose local government units created for the purpose of planning, constructing, operating and maintaining certain community-wide infrastructure within the Fiddler’s Creek Community; and,

WHEREAS, FCC GOLF desires to embark on the project described in the Memorandum dated January 22, 2024 from Mark Minor, P.E. to Terry Cole P.E. titled “Fiddler’s Creek CDD 1 and 2 Proposed Improvements Summary”, a copy of which is attached hereto as **Exhibit “C”**, to construct and reconstruct certain drainage facilities and surface water management systems (“SWMS”) as described and depicted in the attached **Exhibit “C”**, said project hereinafter referred to as the Project; and,

WHEREAS, after written approval by the CDDS of the plans and specification for the Project and required permit and development order applications, FCC GOLF shall construct the Project and complete the Project to the satisfaction of the CDDS, in full compliance with the CDDS’ approved plans and specification for the Project and all permits and development orders, and grant and convey to the CDDS all easements, interests and conveyance documents required and deemed necessary by the CDDS, for the CDDS to own, possess, access, operate and maintain their individual completed Project improvements; and,

WHEREAS, FCC GOLF is desirous of obtaining from the CDDS a temporary right of access for FCC GOLF and FCC GOLF 's contractor(s) ("FCC GOLF's Contractor(s)") for purposes of access to, from, on, over, across, under and upon the Properties and Easements, as necessary, to engage in, perform and complete the Project as approved by the CDDS, and the CDDS are willing to grant such temporary access and use, subject to the full compliance by FCC GOLF and FCC GOLF's Contractor(s) with all of the terms and conditions of this Agreement.

NOW THEREFORE, in consideration of the premises and the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by the CDDS, the parties agree as follows:

1. **Recitals.** The above recitals are true and correct and are hereby incorporated herein.

2. **Grant by CDDS.** Subject to: A. the prior written approval by CDD#1 of the plans and specifications for the Project as to its Property and Easements; B. the prior written approval by CDD#2 of the plans and specifications for the Project as to its Property and Easements; and, C. the prior written approval by the CDDS of the contents of Applications (and any changes and responses) to the South Florida Water Management District ("SFWMD") and all other required governmental agencies, for the Project; the CDDS grant to FCC GOLF and the contractor(s) retained by FCC GOLF to perform the Project ("FCC GOLF's Contractor(s)"), a non-exclusive right and license to enter upon those areas of the Properties and Easements as approved by the CDDS, at locations approved by the CDDS, including but not limited to Project access points, and: D. construct the drainage and SWMS improvements approved by the CDDS in strict conformance with all issued permits and development orders; E. perform and complete the Project approved by the CDDS; and, F. upon completion convey the completed improvements to the CDDS and grant to the CDDS such easements and assurances required by the CDDS; all subject to the terms and conditions of this Agreement.

3. **Term of Grants.** The rights granted hereunder shall commence on the Effective Date and shall remain in effect until the earlier to occur of A the completion of the Project, or B. [REDACTED] months following the Effective Date of this Agreement. On the Termination Date, this Agreement and the rights granted hereunder shall automatically terminate, unless stated as surviving the termination, without the need of any further writing or notice, and be of no further force or effect.

4. **Project Plans, Permits, Fees, Costs, Expenses**

A. FCC GOLF shall be responsible for all costs, fees and expenses associated with the Project and this Agreement, including but not limited to the costs, fees and expenses relating to the preparation of Project plans and specifications, applications to all applicable governmental agencies and the costs of construction.

B. FCC GOLF shall also be responsible for all costs, fees and expenses associated with the Project incurred by the CDDS, including but not limited to the costs, fees and expenses of the District Manager, District Counsel and District Engineer.

C. FCC GOLF shall not submit any applications for any permits or development orders for the Project without the prior written approval of both CDDS.

D. FCC GOLF shall not reply to any requests for additional information (“RAI”) nor submit responses to governmental agencies without the prior review and written approval of both CDDS.

E. The CDDS must provide their prior written approval of all applications and all permit and development order Special Conditions before the issuance of any such permits or development orders.

5. Construction of the Project.

A. After the issuance of required permits and development orders for the Project, as approved by the CDDS, FCC GOLF and FCC GOLF’s Contractor(s) shall be solely responsible for all construction activities and restoration of the Properties and Easements [including but not limited to all Project access points] occasioned by or caused by the activities of FCC GOLF or FCC GOLF’s Contractor(s) in performing the Project. The Project work shall be commenced by [REDACTED], 2024, diligently pursued, and performed in strict accordance with applicable laws, regulations, rules, codes and ordinances, permits, development orders and the terms and conditions of this Agreement.

B. In addition to the foregoing, the parties agree as follows:

1. Not less than one month prior to commencement of construction of the Project, FCC GOLF and FCC GOLF’s Contractor(s) will meet with the CDDS and CDDS’ engineer and manager, to visit the Properties and Project area, to review the Project scope to ensure conformance with the approvals provided by the CDDS, coordinate the Project work and agree on the Project access point(s) and associated conditions.
2. After completion of the Project, FCC GOLF and FCC GOLF’s Contractor(s) will complete a walk-through of the Project work area with the CDDS and their agents(s) to note any deficiencies.
3. FCC GOLF and FCC GOLF’s Contractor(s) shall:
 - a. take all steps necessary to complete the Project approved by the CDDS to the satisfaction of the CDDS and the permitting agencies, and provide and deliver such written certifications of compliance and completion as required by the CDDS. Any and all access points on over or across the Properties and Easements approved by the CDDS, will be completely restored to the satisfaction of the District Engineer for the CDDS, at the sole cost and expense of FCC GOLF.
 - b. FCC GOLF shall grant the CDDS such easements (with a form and content as approved by the CDDS) determined by the CDDS as being necessary to operate and maintain the completed

- Project improvements.
- c. FCC GOLF shall execute and deliver to the CDDS any documents of transfer or conveyance (with a form and content as approved by the CDDS) determined by the CDDS as being necessary to own, operate and maintain the completed Project improvements, including but not limited to bills of sale, waivers of lien, warranties and affidavits.
 - d. Deliver [REDACTED] sets of As-Built drawings of the completed Project improvements certified by a Florida licensed professional engineer, in paper and electronic format.
 - e. Transfer and assign all warranties for the Project improvements.

6. Insurance.

FCC GOLF and FCC GOLF's Contractor(s) shall, at all times while this Agreement remains in effect, carry, keep and maintain (and require their contractors and consultants that enter the Properties and Easements to carry, keep and maintain) in full force and effect insurance coverages as outlined herein. All such insurance (except Workers' Compensation) shall name the CDDS as additional named insureds, shall include a waiver of subrogation against the CDDS, and shall provide that no policy is cancelable and may not be materially changed or restricted until the CDDS have received at least 30 days prior written notice thereof from the insurance company. FCC GOLF and FCC GOLF's Contractor(s) shall provide the CDDS with duplicate copies of all insurance policies containing such coverage or appropriate certificates evidencing such coverages.

FCC GOLF and FCC GOLF's contractor(s) shall provide and maintain during the life of this Agreement, insurance that will protect the FCC GOLF, FCC GOLF's Contractor(s) and any subcontractors performing the Project under the Agreement from claims for damages for personal injury, including accidental death, as well as from claims for property damages which may arise from Project performed, whether such operations be by the FCC GOLF, FCC GOLF's Contractor(s) or by any subcontractors or by anyone directly or indirectly employed by any of them. FCC GOLF and FCC GOLF's Contractor(s) shall also provide and maintain during the life of this Agreement insurance that will indemnify and hold harmless the CDDS, and its agents, officers, Supervisors, and employees from and against all claims, costs, expenses, including attorneys' fees and damages arising out of or resulting from performance the Project under this Agreement, injury to or conduct, want of care or skill, negligence and patent infringement providing that any such claim, damage, loss or expenses (a) is attributable to bodily injury, sickness, disease, or death, or to injury or destruction of property, including the loss of use resulting therefrom and (b) is caused in whole or in part by any negligent act of the FCC GOLF, FCC GOLF's Contractor(s), its employees, agents, officers, or subcontractors, or anyone indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by a party indemnified hereunder.

FCC GOLF, and FCC GOLF's Contractor(s), at their sole cost and expense, shall obtain and maintain in full force during the term of this Agreement such insurance as will protect it from: (1) claims under workers' compensation laws, disability benefit laws, or other similar employee benefit laws; (2) claims for damages because of bodily injury, occupational sickness or disease or death of its employees including claims insured by general personal injury liability coverage; (3) claims for damages because of bodily injury, sickness or disease, or death of any person other than its employees including claims insured by usual personal injury liability coverage; (4) claims for damages, claims or losses because of or resulting from cyber security incidents and data breach incidents in the form of cyber liability insurance and data breach insurance; and (5) claims for injury to or destruction of tangible property, including loss of use resulting there from; any or all of which claims may arise out of, or result from, the services, work and operations carried out pursuant to and under the requirements of the Agreement, whether such services, work and operations are performed by FCC GOLF and FCC GOLF Contractor(s), its employees, or by any sub-contractor(s) or sub-sub-contractor(s) or anyone employed by or under the supervision of any of them, or for whose acts any of them may be legally liable. The insurance protection set forth hereinabove shall be obtained and written for not less than the following limits of liability, or as required by law, whichever is greater. FCC GOLF and FCC GOLF's Contractor(s) shall obtain and maintain the following insurance coverages, and in the type, amounts and in conformance with the following minimum requirements:

A. WORKERS' COMPENSATION

Coverage for all employees with statutory limits in compliance with applicable State and Federal laws. In addition, the policy must include the following:

1. Employer's Liability with a minimum limit per accident in accordance with statutory requirements, or a minimum limit of \$500,000 for each accident, whichever limit is greater.

B. COMMERCIAL GENERAL LIABILITY

Coverage must be afforded on a form no more restrictive than the last edition of the Commercial General Liability Policy filed by the Insurance Services Office and with the Florida Office of Insurance Regulation and must include the following:

1. Minimum limits of \$2,000,000 per occurrence and \$5,000,000 aggregate for Bodily Injury Liability and a minimum limit of \$2,000,000 for Property Damage Liability, or a minimum combined single limit of \$5,000,000.

2. Contractual coverage applicable to this specific Agreement including any hold harmless and/or such indemnification agreement.

3. This shall include Premises and/or Operations, Independent Contractors and Products and/or Completed Operations, Broad Form Property damage, XCU Coverage, and a Contractual Liability Endorsement. Said coverage must be on an occurrence basis. The CDDS, their officers and employees shall be included as an Additional Insureds.

C. BUSINESS AUTOMOBILE LIABILITY

Coverage must be afforded on a form no more restrictive than the latest edition of the Business Automobile Liability Policy filed by the Insurance Services Office and with the Florida Office of Insurance Regulation and must include the following:

1. Minimum limits of \$1,000,000 per person and \$3,000,000 per accident for Bodily Injury Liability and a minimum limit of \$1,000,000 for Property Damage Liability, or a minimum combined single limit of \$3,000,000.
2. Coverage shall include owned vehicles, hired and leased, or non-owned vehicles.

D. CYBER LIABILITY INSURANCE AND DATA BREACH INSURANCE

1. Minimum limits of \$1,000,000 per occurrence and minimum \$3,000,000 in the aggregate.

E. ALL RISK BUILDERS RISK OR INSTALLATION FLOATER (If Applicable)

All Risk coverage, with the limits of insurance to equal 100% of the completed contract amount of such addition(s), buildings(s), or structure(s). Any deductible is the responsibility of the Contractor. The CDDS shall be named as an additional insured.

F. SUBCONTRACTORS

It shall be the responsibility of FCC GOLF, and FCC GOLF's Contractor(s) to ensure that all subcontractors carry Automobile Liability, General Liability and Workers' Compensation in compliance with statutory limits.

FCC GOLF agrees and FCC GOLF's Contractor(s) shall agree in all contracts with FCC GOLF that the required insurance coverages are not intended to and shall not, in any manner, limit or reduce the liabilities and obligations assumed by FCC GOLF and FCC GOLF's Contractor(s), its agents, employees, subcontractors, etc. The CDDS will be notified immediately if any aggregate insurance limit is exceeded. Additional coverage must be purchased by FCC GOLF and FCC GOLF's Contractor(s) to meet requirements of this Agreement.

Policies will not be canceled, non-renewed or reduced in scope of coverage until at least thirty (30) days prior written notice has been given to the CDDS, and only if substitute equivalent coverage in compliance with this Agreement is provided.

All such insurance shall be obtained from companies listed and authorized to do business in the field of insurance in the State of Florida, and are authorized and licensed to provide the insurance required herein. Insurance provided by out-of-state reinsurers shall not be acceptable.

At the time of execution of this Agreement, FCC GOLF and FCC GOLF's Contractor(s) will file with the District Manager certificates of such insurance and endorsements naming the District as an additional insured as required herein, that are acceptable to the CDDS.

7. Indemnification.

FCC GOLF and FCC GOLF's Contractor(s) hereby agree to indemnify and do indemnify and hold harmless the CDDS from any losses, damages or awards arising out of personal injury or death or property damage resulting solely from the work associated with the Project, or activities occurring in, on, over, upon or under the Properties or Easements. FCC GOLF and FCC GOLF's Contractor(s) assumes liability for and shall indemnify, defend and save harmless the CDDS as well as all of their agents, employees, officers, directors, Supervisors, successors and assigns from any and all expenses, costs, claims, actions, damages, losses and liabilities of every kind (including, but not limited to, reasonable attorneys' fees of their attorneys) irrespective of the theory upon which based (including, but not limited to, negligence and strict liability) arising out of FCC GOLF and FCC GOLF's Contractor(s) presence at the site of the Project for any purpose (including, but not limited to, performing work under this Agreement) and arising out of the Site and the condition, operation, ownership, selection, transportation, loading, unloading, security, leasing or return of any equipment or individuals with respect to the above services regardless of where, how and by whom used or operated and including, without limitation, injury to property or person (including death). This Agreement also obligates FCC GOLF and FCC GOLF's Contractor(s) to indemnify and save harmless the CDDS for any and all expenses, costs, claims, actions, damages, losses, and liabilities of every kind arising out of any of Contractor's or their subcontractors at the site of the Work.

FCC GOLF and FCC GOLF's Contractor(s) understands and agrees that it is obligated and shall indemnify the CDDS, for damages and injury to persons and property caused in whole or in part by any act, omission, negligence or fault of FCC GOLF and FCC GOLF's Contractor(s) and its subcontractors, agents, employees, officers, directors, successors and assigns. FCC GOLF and FCC GOLF's Contractor(s) obligation to indemnify and defend the CDDS, is absolute, including instances where the CDDS are found potentially liable, responsible or at fault and in those instances where CDDS own negligence or actions caused said damage or injury in part. Notwithstanding FCC GOLF and FCC GOLF's Contractor(s) FCC GOLF and FCC GOLF's Contractor(s) hereby acknowledges that the first \$100.00, paid under this Agreement as sufficient and valuable consideration from District to Contractor as specific consideration for this indemnification. This indemnification and obligations shall survive the completion of the Project.

8. **No Liens.** FCC GOLF and FCC GOLF's Contractor(s) shall not allow or permit any liens to be filed as to the Properties or Easements and shall take all steps necessary to removes any lien that is filed. If any liens shall be filed against the Properties, or Easements FCC GOLF and FCC GOLF's Contractor(s) shall cause such liens to be released, satisfied and discharged of record, or transferred to cash or surety bond in accordance with applicable law within five (5) calendar days from the date FCC GOLF and FCC GOLF's Contractor(s) receives notice and confirmation that such liens have been filed or recorded. FCC GOLF's Contractor(s) agrees to defend the CDDS from liens or claims arising out of FCC GOLF's Contractor(s) performance of the Project work. This indemnification and obligations shall survive the completion of the Project.

9. **E-Verification.**

As a condition precedent to entering into this Agreement, and in compliance with Section 448.095, Fla. Stat., FCC GOLF and FCC GOLF's Contractor(s) and its subcontractors shall, register with and use the E-Verify system to verify work authorization status of all employees hired after January 1, 2021. FCC GOLF and FCC GOLF Contractor(s) shall require each of its subcontractors to provide FCC GOLF with an affidavit stating that the subcontractor does not employ, contract with, or subcontract with an unauthorized alien. FCC GOLF and FCC GOLF contractor(s) shall maintain a copy of the subcontractor's affidavit as part of and pursuant to the records retention requirements of the CDDS, FCC GOLF and FCC GOLF Contractor(s), or any subcontractor who has a good faith belief that a person or entity with which it is contracting has knowingly violated Section 448.09(1), Fla. Stat. or the provisions of this section shall terminate the contract with the person or entity.

The CDDS, upon good faith belief that a subcontractor knowingly violated the provisions of this section, but FCC GOLF and FCC GOLF's Contractor(s) otherwise complied, shall promptly notify FCC GOLF and FCC GOLF's Contractor(s) and FCC GOLF and FCC GOLF's Contractor(s) shall immediately terminate the contract with the subcontractor. A contractor terminated under the provisions of this section is not a breach of contract and may not be considered such. Any contract termination under the provisions of this section may be challenged pursuant to Section 448.095(2)(d), Fla. Stat. FCC GOLF and FCC GOLF's Contractor(s) acknowledge that upon termination of this Agreement by the CDDS for a violation of this section by FCC GOLF or FCC GOLF's Contractor(s), FCC GOLF and FCC GOLF's Contractor(s) may not be awarded a public contract for at least one (1) year. FCC GOLF and FCC GOLF's Contractor(s) further acknowledge that FCC GOLF and FCC GOLF's Contractor(s) are liable for any additional costs incurred by the CDDS as a result of termination of any contract for a violation of this section. FCC GOLF and FCC GOLF's Contractor(s) or subcontractor shall insert in any subcontracts the clauses set forth in this section, including this subsection, requiring the subcontractors to include these clauses in any lower tier subcontracts. FCC GOLF and FCC GOLF's Contractor(s) shall be responsible for compliance by any subcontractor or lower tier subcontractor with the clauses set forth in this section.

10. **Relationship of the Parties.** Nothing herein contained shall be deemed or construed as creating the relationship of principal and agent, or of partnership or joint venture, between the CDDS and FCC GOLF or FCC GOLF's Contractor(s).

11. **Governing Law; Venue.** This Agreement shall be construed and enforced in accordance with the laws of the State of Florida. Venue and jurisdiction for any dispute arising out of this Agreement shall be in a Florida state court of appropriate jurisdiction in Collier County, Florida.

12. **No Amendment or Waiver.** This Agreement shall not be altered, amended, changed, waived, terminated or otherwise modified in any respect or particular unless the same shall be in writing and signed by the parties hereto.

13. **Notice.** Any notice, demands, requests or communication of any kind required or permitted hereunder shall be sufficiently given if sent by (i) overnight carrier, (ii) United States registered or certified mail, postage prepaid, return receipt requested, or (iii) or by pdf electronic transmission with confirmation of receipt, to the parties, or their respective agents, at their address set forth below or at such other address each may designate from time to time. Any such notice, demand, request or communication should be sent to:

If to FCC GOLF:

If to the CDDS:

FIDDLER'S CREEK COMMUNITY
DEVELOPMENT
DISTRICT #1

Attn: _____
Email: _____

FIDDLER'S CREEK COMMUNITY
DEVELOPMENT
DISTRICT #2

Attn: _____
Email: _____

With a copy to:

Woodward, Pires & Lombardo, P.A
3200 Tamiami Trail North, Suite 200
Naples, Florida 34103
Attention: Anthony Pires, Jr., Esq.
Email: APires@wpl-legal.com

Any such notice, demand, request or communication shall be deemed to have been duly given or served on the date shown on the return receipt or other evidence of delivery, if mailed.

14. **Parties.** This Agreement shall be binding upon and shall inure to the benefit of the parties hereto and to their respective successors and assigns. Licensee shall have the right to assign this License to Licensee's Contractor performing the work on the Project.

15. **Litigation.** In the event of litigation between the parties with respect to this Agreement or the performance of the obligations hereunder, the losing party shall pay all costs and expenses incurred by the prevailing party in connection with such litigation, including, but not limited to, reasonable attorneys' fees of counsel selected by the prevailing party.

16. **Severability.** If any provision of this Agreement should be held to be invalid or unenforceable, the validity and enforceability of the remaining provisions of this Agreement shall not be affected thereby.

17. **Headings.** The headings of the various sections of this Agreement have been inserted for the purpose of convenience; such headings shall not be deemed in any manner to modify, explain, enlarge or restrict any of the provisions herein.

18. FCC GOLF affirms that it has the full right, power and authority to execute and enter into this License Agreement.

19. **Counterparts.** This Agreement may be executed in one or more counterparts, each of which shall be deemed to be an original, but all of which shall constitute one and the same Agreement. The signatures of the parties on copies of this Agreement, or any amendments hereto, transmitted by facsimile or electronic transmission shall be deemed originals for all purposes of this Agreement and binding upon the parties.

20. **Project Records.** The following provisions are required by §119.0701, Fla. Stat., and may not be amended. FCC GOLF shall keep and maintain public records required by the CDDS to perform the services required under this Agreement. Upon request from the CDDS custodian of public records, FCC GOLF shall provide the CDDS with a copy of any requested public records or to allow the requested public records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in Chapter 119, Florida Statutes, or as otherwise provided by law. FCC GOLF shall ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the Agreement's term and following completion of the Agreement if FCC GOLF does not transfer the public records to the CDDS. Upon completion of the Agreement, FCC GOLF may transfer, at no cost, to the CDDS all public records in possession of FCC

or keep and maintain public records required by the CDDS to perform the services required under the Agreement.

If FCC GOLF transfers all public records to the CDDS upon completion of the Agreement, FCC GOLF shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If FCC GOLF keeps and maintains public records upon completion of the Agreement, FCC GOLF shall meet all applicable requirements for retaining public records. All records stored electronically must be provided to the CDDS, upon request from the CDDS' custodian of public records, in a format that is compatible with CDDS information technology systems. The failure of FCC GOLF to comply with the provisions set forth in this Section or the public records Law, FCC GOLF shall be deemed to have breached a material provision of the Agreement, shall constitute a Default and Breach of this Agreement, all for which, the CDDS may terminate the Agreement.

IF FCC GOLF HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO FCC GOLF'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS AGREEMENT, CONTACT THE CUSTODIAN OF THE PUBLIC RECORDS AT (239) 498-9020 ADAMSC@WHHASSOCIATES.COM WRATHELL, HUNT AND ASSOCIATES, LLC., CHUCK ADAMS, DISTRICT MANAGER, 9220 BONITA BEACH ROAD, SUITE 214, BONITA SPRINGS, FLORIDA 34135

21. **No Recording** Neither a copy of this Agreement nor any memorandum thereof shall be recorded in any public records.

22. **Data Security.** No confidential data collected, maintained, or used during performance of the Agreement shall be disseminated except as authorized by law and with the written consent of the CDDS either during the period of the Agreement or thereafter. FCC GOLF warrants that the work product and any other materials to be provided hereunder will not knowingly contain any virus, worm, Trojan Horse, tracking software, or devices capable of identifying users or tracking use, or any undocumented software locks or drop-dead devices which would render inaccessible or impair in any way the operation of the Project or any other hardware, software or data of the CDDS or any representative of the CDDS which the work product is designed to work with. In the event of a breach of security as defined in section 501.171, Florida Statutes, FCC GOLF shall notify the CDDS immediately, but no later than ten (10) calendar days following a determination of a breach of data security. Additionally, FCC GOLF shall fully cooperate, at its own expense, with the CDDS regarding the CDDS statutory notification requirements.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed as of the Effective Date.

FCC GOLF COURSE LLC

WITNESSES:

Signature: _____
Printed Name: _____

Signature: _____
Printed Name: _____

Signature: _____
Printed Name: _____
ATTEST:

**FIDDLER'S CREEK COMMUNITY
DEVELOPMENT DISTRICT #1**

_____, Secretary

Signature: _____
Printed Name: _____
Title: _____

ATTEST:

_____, Secretary

**FIDDLER'S CREEK COMMUNITY
DEVELOPMENT DISTRICT #2**

Signature: _____
Printed Name: _____
Title: _____

Hidden Cove

Fiddler's Creek - Phase 2A Tract 6

Construction Plans and Plat

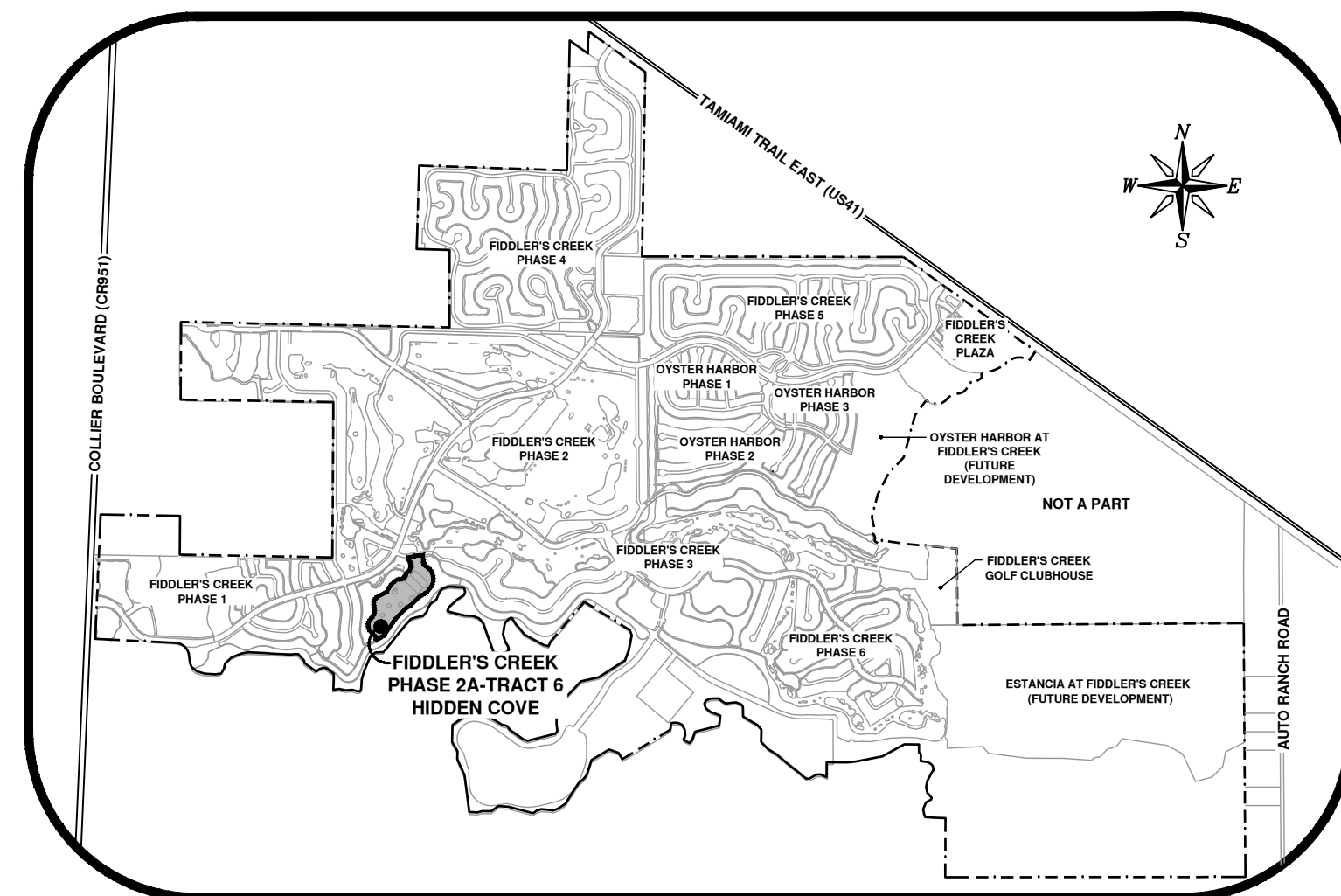
Section 23, Township 51 South, Range 26 East
 Located in Collier County, Florida

Owner/Developer:

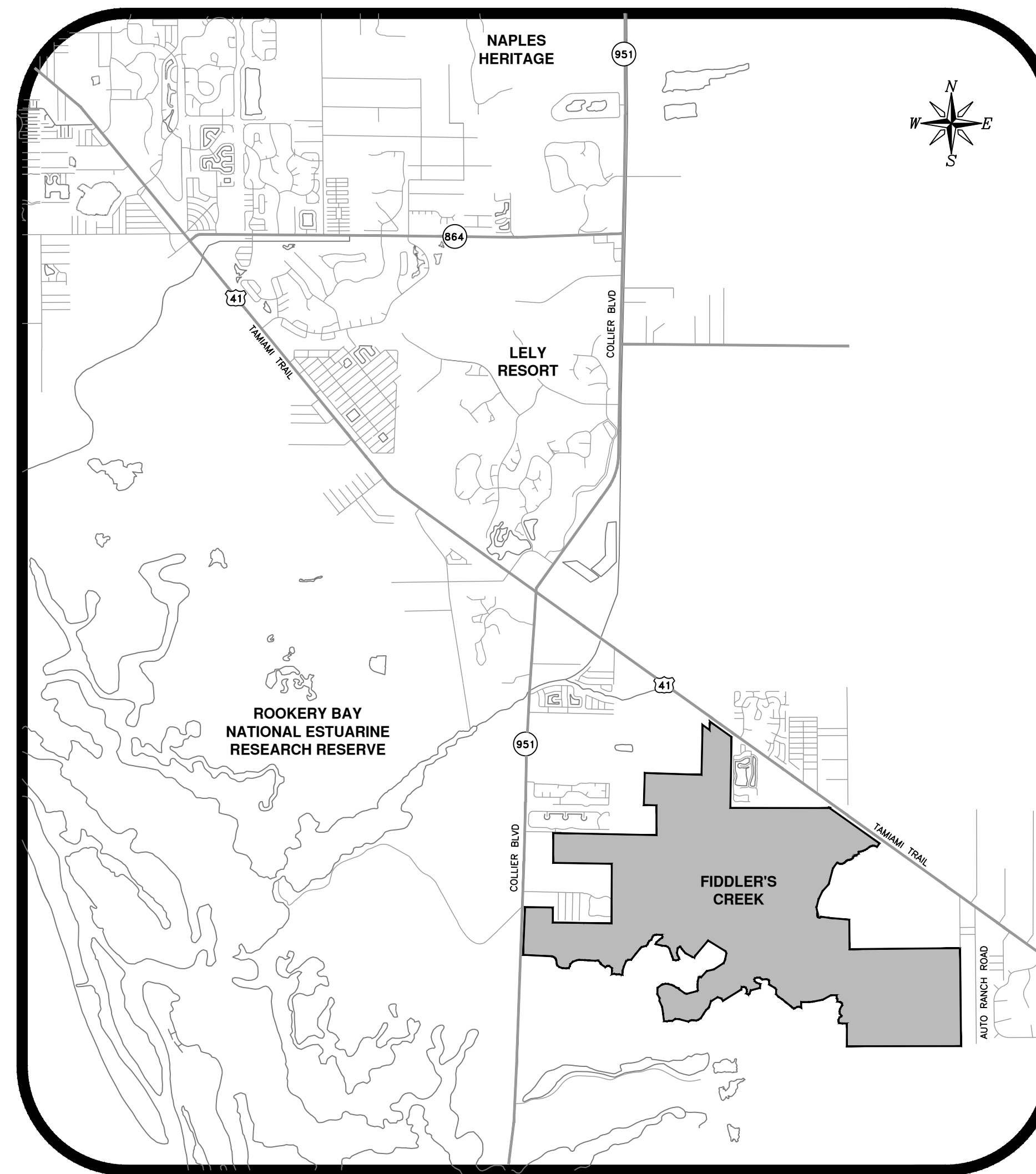
FCC GOLF CLUB, LLC.
 8156 Fiddler's Creek Parkway
 Naples, Florida 34114
 Tel: 239.732.9400
 Email: parisij@gulfbay.com

ORDINANCE: MARCO SHORES/FIDDLER'S CREEK PUD
 (ORD 1996-74, 1998-13, 2000-84)
 COLLIER COUNTY ZONING: PUD
 ENVIRONMENTAL RESOURCE PERMIT NO. 11-00685-S
 COLLIER COUNTY FOLIO NUMBER: 32432003287

PROPERTY DESCRIPTION
 ALL OF TRACT "6" AND A PORTION OF TRACTS "FC-3, AND
 "FC-8", FIDDLER'S CREEK PHASE 2A, UNIT ONE, PLAT BOOK
 35, PAGES 92 THROUGH 95 AND A PORTION OF TRACT
 "B-7C", FIDDLER'S CREEK PHASE 3, UNIT ONE, PLAT BOOK
 40, PAGES 85 THROUGH 100, PUBLIC RECORDS OF COLLIER
 COUNTY, FLORIDA.
 CONTAINING 17.87 ACRES, MORE OR LESS.



Vicinity Map
 N.T.S.



Location Map
 N.T.S.
Prepared by:



Civil Engineers • Land Surveyors • Planners • Landscape Architects
 Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151 Business LC 26000266
 Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380

Q. Grady Minor and Associates, P.A.
 3800 Via Del Rey
 Bonita Springs, Florida 34134

Index of Sheets

Dwg. No.	Description
1.	COVER SHEET AND INDEX OF DRAWINGS
2.	AERIAL IMAGE AND EXISTING CONDITIONS PLAN
3.	DEMOLITION AND EROSION CONTROL PLAN
4.	ZONING DATA SHEET
5.	SITE, SIGNING AND MARKING PLAN
6.	MASTER DRAINAGE PLAN
7.	GRADING, PAVING AND DRAINAGE PLAN
8.	GRADING, PAVING AND DRAINAGE DETAIL SHEET
9.	TYPICAL CROSS-SECTIONS
10.	BULKHEAD DETAILS AND NOTES
11.	MASTER UTILITY PLAN
12.	PLAN AND PROFILE - PUMP STATION AND HIDDEN COVE DRIVE STA. 0+00 - 9+50
13.	PLAN AND PROFILE - HIDDEN COVE DRIVE STA. 9+50 - 17+80
14.	GENERAL UTILITY DETAILS
15.	WATER DETAIL SHEET
16.	WASTEWATER DETAIL SHEET
17.	PUMP STATION DETAIL SHEET

Revisions

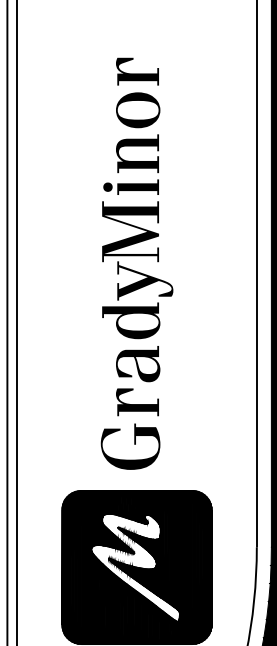
Revision	Date	Description	By

MARK W. MINOR, P.E.
 Q. GRADY MINOR & ASSOC., P.A.
 3800 VIA DEL REY
 BONITA SPRINGS, FL 34134
 FLORIDA P.E. LICENSE NO. 45324
 EB/LB 0005151

DATE: JANUARY 2023
 FILE NAME: FC6SP-COVER.DWG
 JOB CODE: FC6SP
 SHEET NUMBER 1 OF 17

SUBMITTAL
 PPL

Hidden Cove
 Construction Plans and Plat





EL.	ELEVATION
EX.	EXISTING
L.M.E.	LAKE MAINTENANCE EASMENT
TYP.	TYPICAL
U.E.	UTILITY EASEMENT
-fz-	APPROXIMATE FLOOD ZONE LINE

LEGEND	
	EX. PAVEMENT
	EX. SIDEWALK
	EX. LITTORAL SHELF

Revision	Date	Description

DESIGNED BY:	J.D.
DRAWN BY:	K.L.M.
APPROVED:	M.W.M.
JOB CODE:	FC6SP
SCALE:	1" = 60'

GradyMinor
 Civil Engineers • Land Surveyors • Planners • Landscape Architects
 Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151
 Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380

HIDDEN COVE
AERIAL IMAGE AND EXISTING CONDITIONS PLAN
 ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
 CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.309

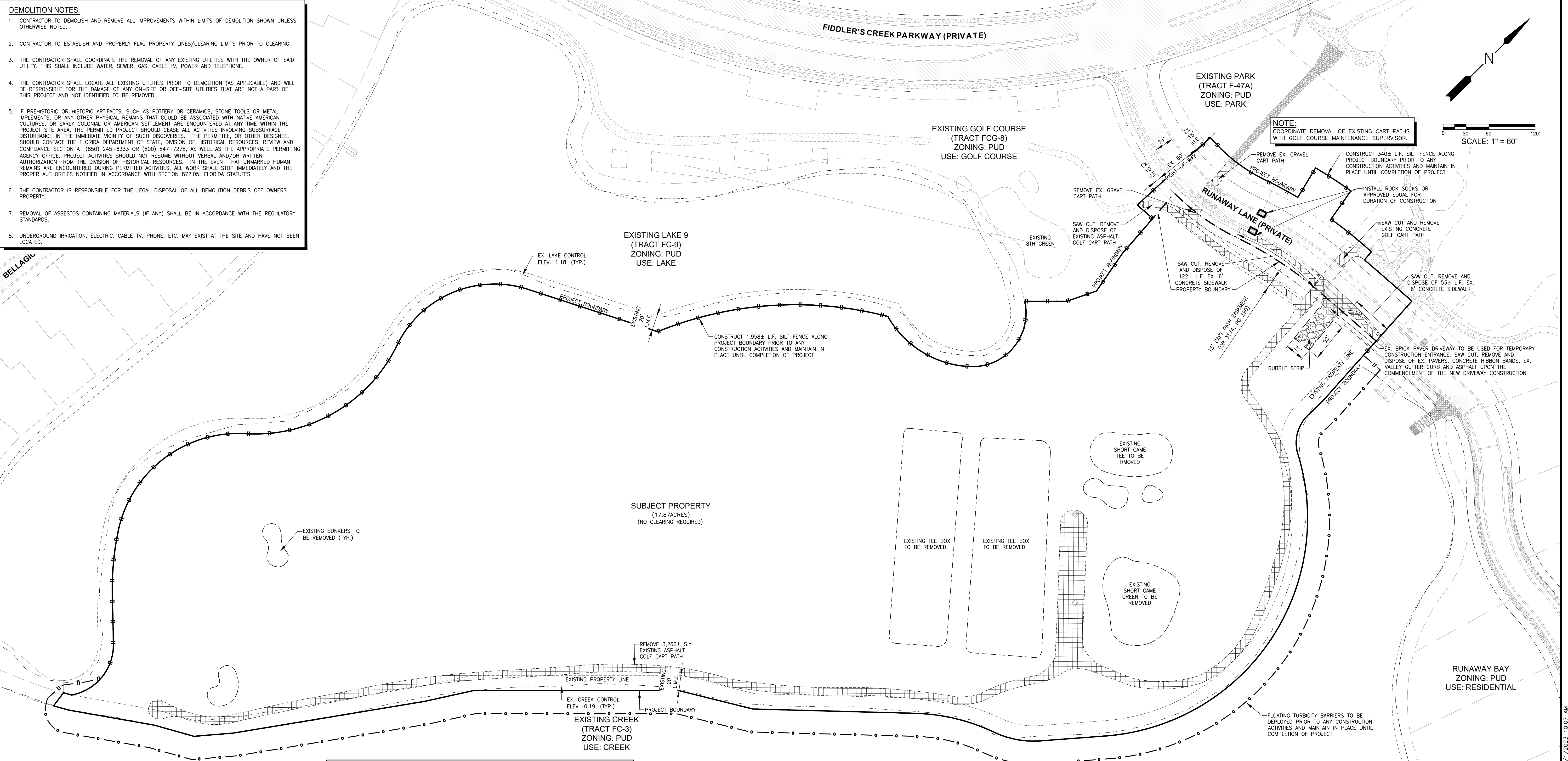
MUNICIPALITY: COLLIER COUNTY
 SEC./TOWNSHIP/RNG: 23/515/26E
 DATE: JANUARY 2023
 SUBMITTAL TYPE: PPL
 SHEET 2 OF 17

MARK W. MINOR, P.E.
 FLORIDA P.E. LICENSE NO. 45324

C:\ENGINEERING\PROJ-ENG\1\CG6SP\01\DWG\SS\SUBMITTAL\TYPE\AERIAL & EX. CONDITIONS 8/1/2023 10:07 AM

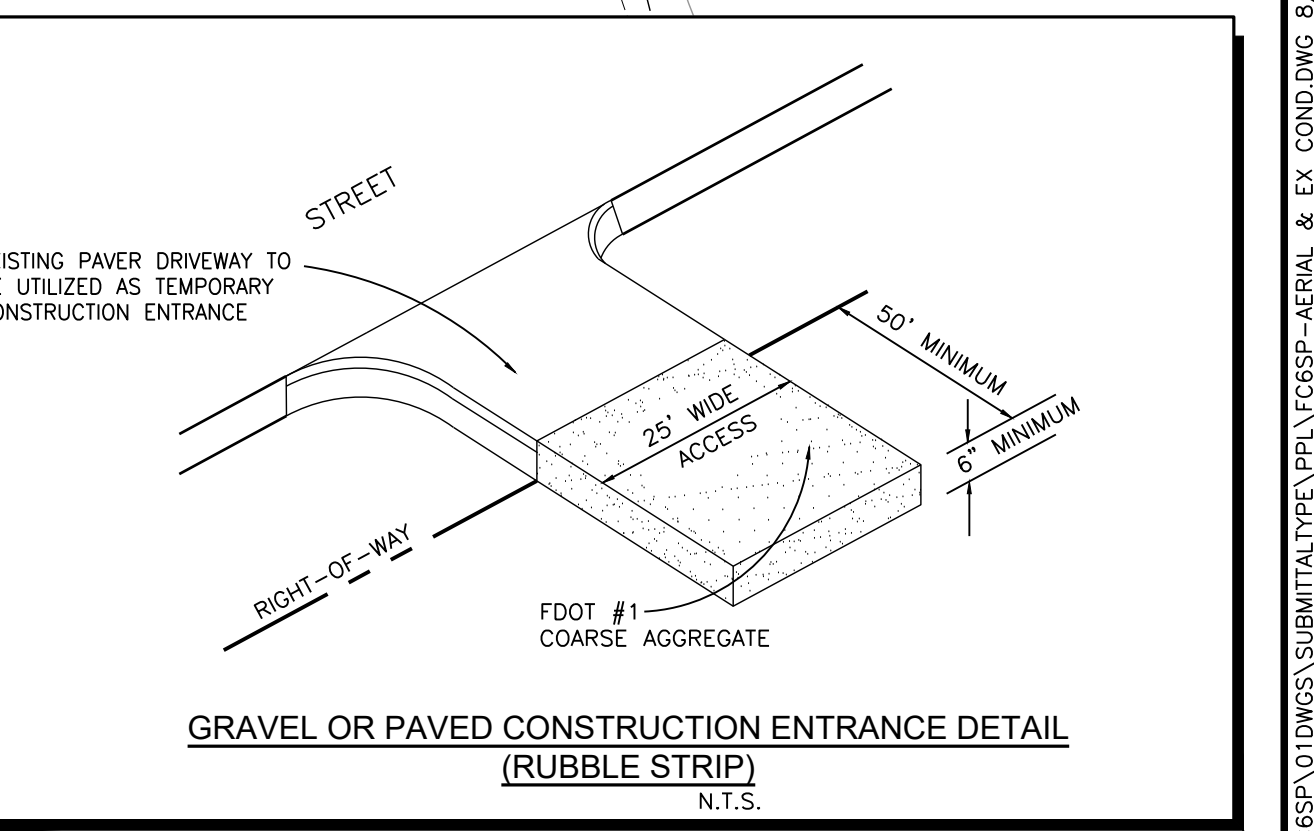
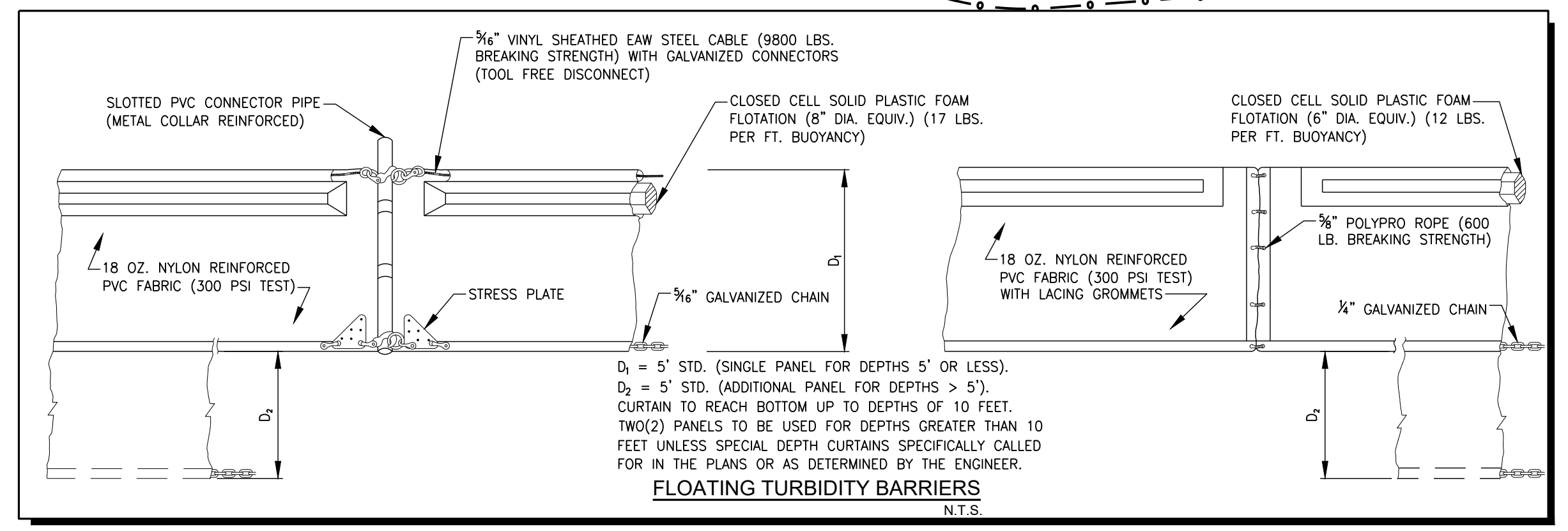
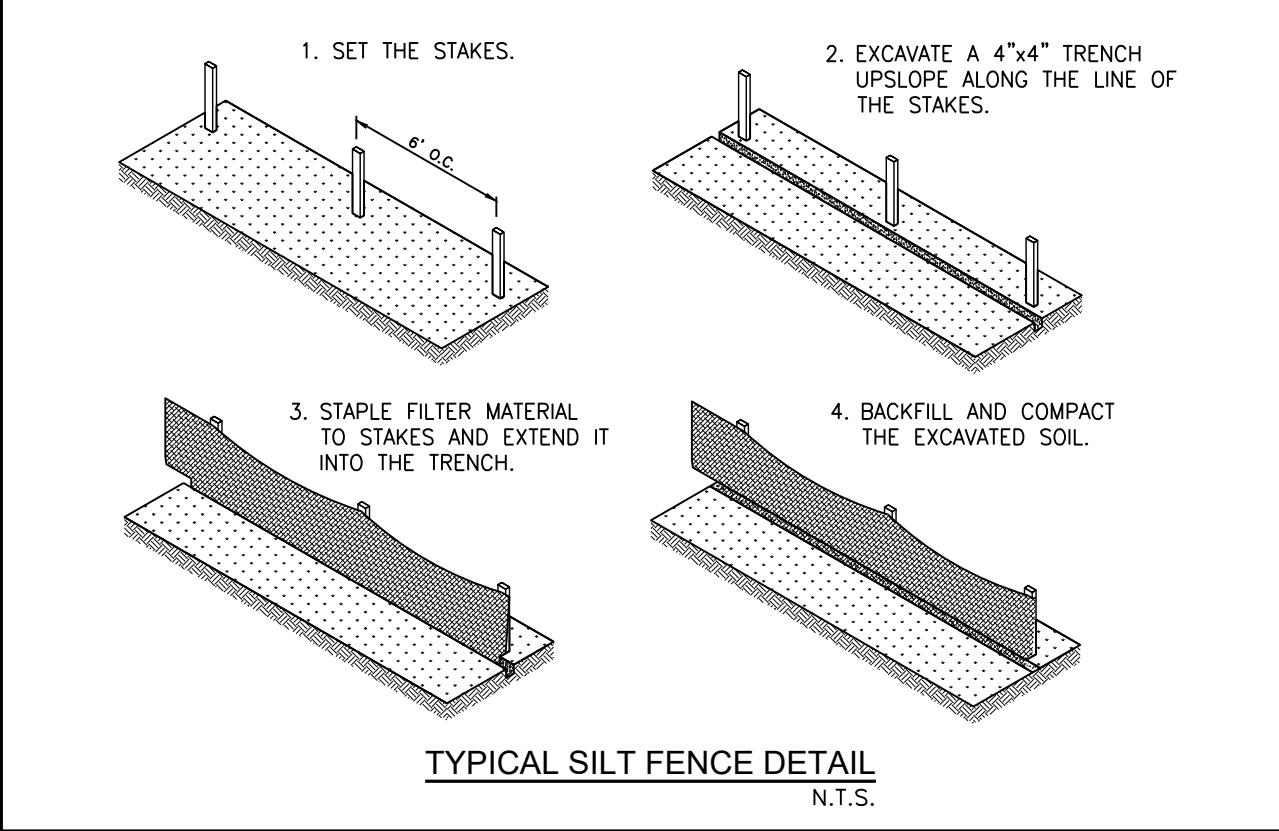
DEMOLITION NOTES:

- CONTRACTOR TO DEMOLISH AND REMOVE ALL IMPROVEMENTS WITHIN LIMITS OF DEMOLITION SHOWN UNLESS OTHERWISE NOTED.
- CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES/CLEARING LIMITS PRIOR TO CLEARING.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ANY EXISTING UTILITIES WITH THE OWNER OF SAID UTILITY. THIS SHALL INCLUDE WATER, SEWER, GAS, CABLE TV, POWER AND TELEPHONE.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION (AS APPLICABLE) AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT AND NOT IDENTIFIED TO BE REMOVED.
- IF PREHISTORIC OR HISTORIC ARTIFACTS, SUCH AS POTTERY OR CERAMICS, STONE TOOLS OR METAL IMPLEMENTS, OR ANY OTHER PHYSICAL REMAINS THAT COULD BE ASSOCIATED WITH NATIVE AMERICAN CULTURES, OR EARLY COLONIAL OR AMERICAN SETTLEMENT ARE ENCOUNTERED AT ANY TIME WITHIN THE PROJECT SITE AREA, THE PERMITTED PROJECT SHOULD CEASE ALL ACTIVITIES INVOLVING SUBSURFACE DISTURBANCE IN THE IMMEDIATE VICINITY OF SUCH DISCOVERIES. THE PERMITTEE, OR OTHER DESIGNEE, SHOULD CONTACT THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORICAL RESOURCES, REVIEW AND COMPLIANCE SECTION AT (850) 245-6333 OR (800) 847-7278, AS WELL AS THE APPROPRIATE PERMITTING AGENCY OFFICE. PROJECT ACTIVITIES SHOULD NOT RESUME WITHOUT VERBAL AND/OR WRITTEN AUTHORIZATION FROM THE DIVISION OF HISTORICAL RESOURCES. IN THE EVENT THAT UNMARKED HUMAN REMAINS ARE ENCOUNTERED DURING PERMITTED ACTIVITIES, ALL WORK SHALL STOP IMMEDIATELY AND THE PROPER AUTHORITIES NOTIFIED IN ACCORDANCE WITH SECTION 872.05, FLORIDA STATUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLITION DEBRIS OFF OWNERS PROPERTY.
- REMOVAL OF ASBESTOS CONTAINING MATERIALS (IF ANY) SHALL BE IN ACCORDANCE WITH THE REGULATORY STANDARDS.
- UNDERGROUND IRRIGATION, ELECTRIC, CABLE TV, PHONE, ETC. MAY EXIST AT THE SITE AND HAVE NOT BEEN LOCATED.



EROSION CONTROL NOTES:

- SILT FENCE SHALL BE INSTALLED ALONG THE PROPERTY LINES AND/OR CONSTRUCTION LIMITS PRIOR TO INITIATING CLEARING AND DEMOLITION. SILT FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION OF APPLICABLE SITE INFRASTRUCTURE.
- THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING CLEARING. PROTECTIVE BARRIERS WILL REMAIN IN PLACE FOR DURATION OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL CLEARING DEBRIS OFF OWNER'S PROPERTY.
- UTILIZE SYNTHETIC BALES, TEMPORARY BERMING, SOIL SEED, AND MULCH TO CONTROL EROSION AS REQUIRED OR DIRECTED BY THE OWNER OR ENGINEER OR TO MEET NPDES REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION AND CONTROL OF ANY EROSION, SEDIMENTATION, OR SURFACE WATER TURBIDITY CAUSED BY HIS ACTIVITY.
- CONTROL STRUCTURES, SEDIMENT SUMPS, AND OTHER FEATURES PERMITTED AS PART OF THE WATER MANAGEMENT SYSTEM SHALL BE CONSTRUCTED AS EARLY AS POSSIBLE IN THE CONSTRUCTION SEQUENCE.
- DURING CONSTRUCTION, GRATE INLET AND JUNCTION BOX OPENINGS SHALL BE COVERED WITH FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL) TO PREVENT DEBRIS AND FILL FROM FALLING INTO THE INLET.



LEGEND

EL ELEVATION
 EX EXISTING
 L.M.E LAKE MAINTENANCE EASMENT
 TYP TYPICAL
 U.E UTILITY EASEMENT
 - - - SILT FENCE
 --- FLOATING TURBIDITY BARRIERS

DENOTES DEMOLITION

Revision	Date	Description	By

DESIGNED BY: J.D.
 DRAWN BY: K.L.M.
 APPROVED: M.W.M.
 JOB CODE: FC6SP
 SCALE: 1" = 60'

GradyMinor
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 3800 Via Del Rey
 Bonita Springs, Florida 34134
 Business LC 26000266

HIDDEN COVE
 DEMOLITION AND EROSION CONTROL PLAN

ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
 CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+) 1.309

MARK W. MINOR, P.E.
 FLORIDA P.E. LICENSE NO. 45324

MUNICIPALITY: COLLIER COUNTY
 SEC./TOWNSHIP/RNG 23/515/26E
 DATE: JANUARY 2023
 SUBMITTAL TYPE: PPL
 SHEET 3 OF 17

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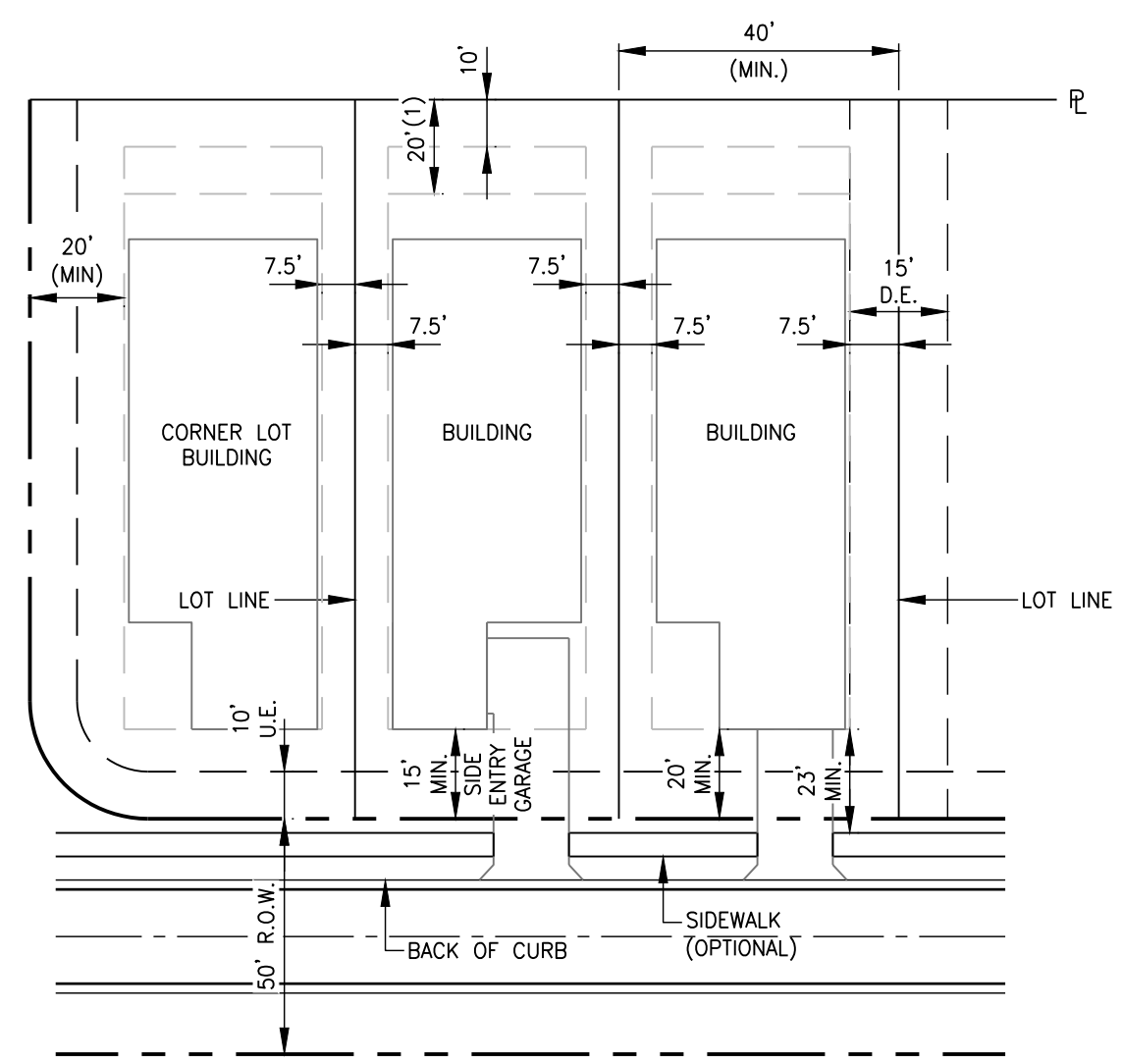
FIDDLER'S CREEK DEVELOPMENT STANDARDS FOR 'R' RESIDENTIAL AREAS

PERMITTED USES AND STANDARDS	SINGLE FAMILY DETACHED	PATIO AND ZERO LOT LINE	TWO FAMILY AND DUPLEX	SINGLE FAMILY ATTACHED AND TOWNHOUSE	MULTI-FAMILY DWELLINGS	BUSINESS DISTRICT	GOLF COURSE
MINIMUM LOT AREA	6500 S.F.	5000 S.F.	3500 S.F. (*4)	3000 S.F.	1 AC.	10,000 S.F.	N/A
MINIMUM LOT WIDTH (*5)	50	40	35	30	150	100	NONE
FRONT YARD	25	20 (*3)	20 (*3)	20 (*3)	25	25	20' OR 50'
FRONT YARD FOR SIDE ENTRY GARAGE	15	10	10	10	15	N/A	N/A
SIDE YARD	7.5	(*6)	0 OR 7.5	0 OR .5 B.H.	0.5 OF SUM OF B.H.	0 OR 5	20' OR 50'
REAR YARD PRINCIPAL	20	10	20	20	B.H.	25	20' OR 50'
REAR YARD ACCESSORY	10	5	10	10	15	25	10' OR 20'
REAR YARD SPECIAL (*1)	10	5	10	10	0 B.H. ▲	N/A	N/A
MAX. BLDG. HEIGHT (*2)	35	35	35	35	100	40	50
DISTANCE BETWEEN PRINCIPAL STRUCTURES	15	10	0 OR 15	.5 B.H.	.5 B.H.	SIDE YARD	25
FLOOR AREA MIN. (S.F.)	1500 S.F.	1250 S.F.	1400 S.F.	1200 S.F.	1000 S.F.	1000 S.F.	NONE

DEVELOPMENT STANDARDS

MARCO SHORES / FIDDLER'S CREEK PUD 18-27
PROPOSED LAND USE: SINGLE FAMILY

PRINCIPAL STRUCTURES	REQUIRED	PROVIDED
MINIMUM LOT AREA	5,000 S.F.	SEE LOT SUMMARY
MINIMUM LOT WIDTH	40 FT.	SEE LOT SUMMARY
FRONT YARD	20 FT.	20 FT.
FRONT YARD FOR SIDE ENTRY	15 FT.	T.B.D.
SIDE YARD	0 FT. OR 5 FT. MINIMUM	7.5 FT.
REAR YARD PRINCIPAL	10 FT.	20 FT.
REAR YARD ACCESSORY	5 FT.	10 FT.
REAR YARD SPECIAL	5 FT.	N/A
MAXIMUM BUILDING HEIGHT	35 FT.	T.B.D.
DISTANCE BETWEEN STRUCTURES	10 FT.	T.B.D.
FLOOR AREA MINIMUM	1,250 S.F.	T.B.D.



TYPICAL PATIO LOTS
N.T.S.

PARKING AND LOADING ZONE CALCULATIONS

PER COLLIER COUNTY LDC §4-05-04, TABLE 14

USE	CRITERIA	CALCULATION	REQUIRED	PROVIDED
SINGLE-FAMILY RESIDENCE	2 SPACES PER UNIT	# OF UNITS = 31	62	62
		31 UNITS x 2 SPACES = 62 SPACES	62	62
		SUB-TOTAL =	62	62
		ADDITIONAL GUEST PARKING SPACES =	0	0
		TOTAL =	62	62

NOTE: BICYCLE PARKING NOT REQUIRED PER COLLIER COUNTY LDC §4-05-08

LAND USE SUMMARY

PARCEL	DESCRIPTION	AREA (ACRES)	%
TRACT "A"	ROAD	2.10	11.75
TRACT "B"	OPEN SPACE, L.B.E.	0.02	0.11
TRACT "C"	OPEN SPACE, L.B.E.	0.36	2.01
LOTS 1-31	RESIDENTIAL LOTS	15.39	86.12
TOTAL PLAT		17.87	100.00

PERIMETER LANDSCAPE BUFFERING

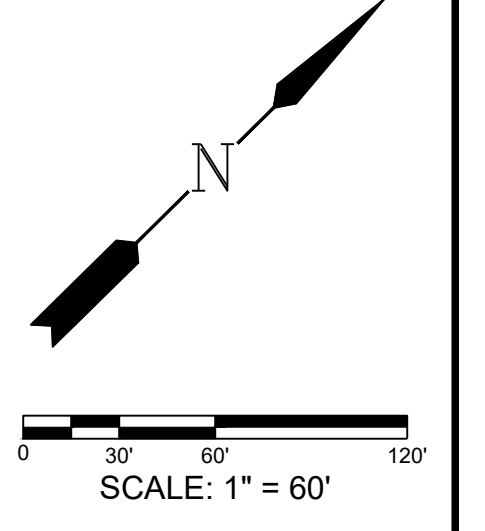
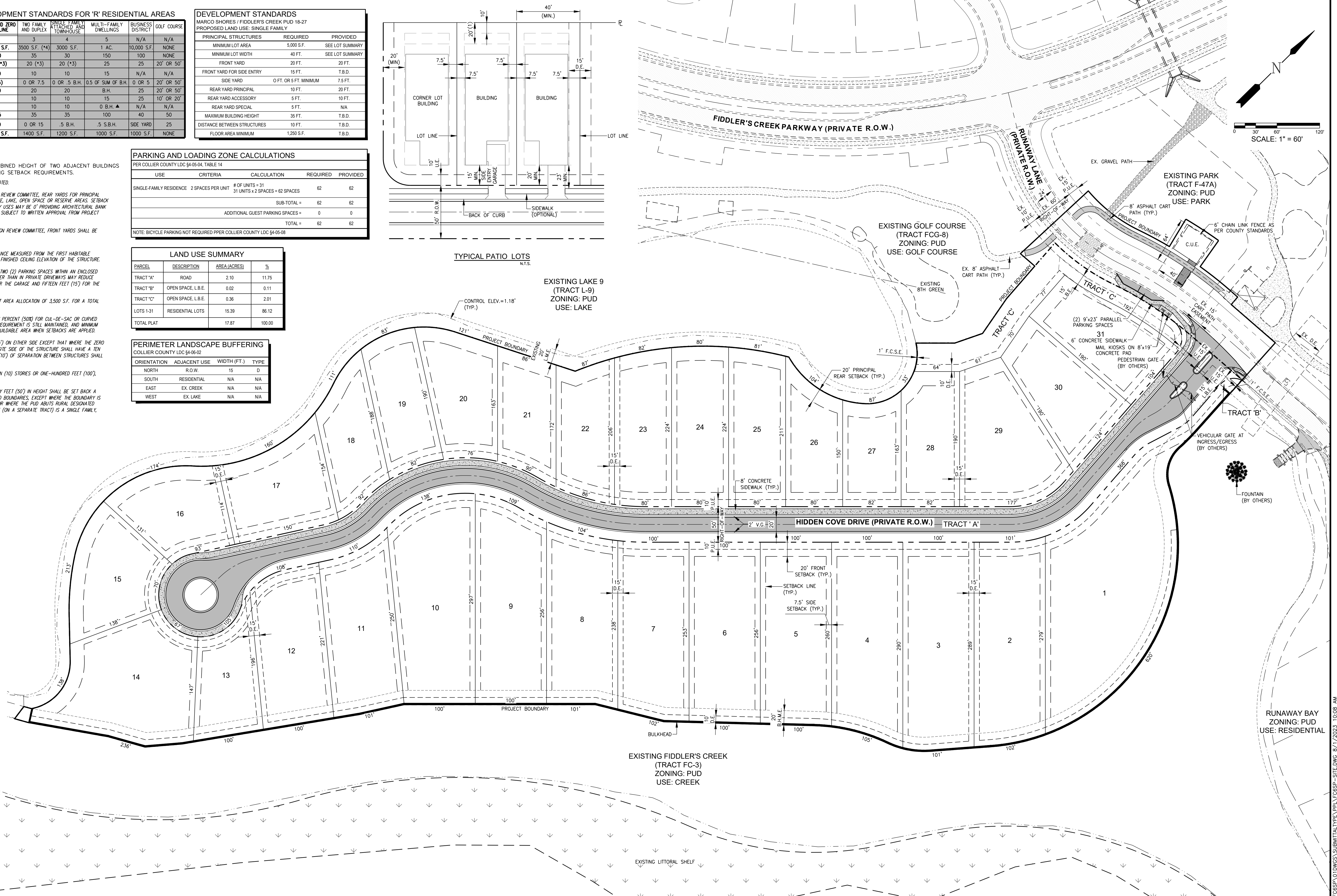
COLLIER COUNTY LDC §4-06-02

ORIENTATION	ADJACENT USE	WIDTH (FT.)	TYPE
NORTH	R.O.W.	15	D
SOUTH	RESIDENTIAL	N/A	N/A
EAST	EX. CREEK	N/A	N/A
WEST	EX. LAKE	N/A	N/A

- ▲ SPECIAL EXCEPTION #1
- BH BUILDING HEIGHT
- SBH (SUM OF BUILDING HEIGHTS): COMBINED HEIGHT OF TWO ADJACENT BUILDINGS FOR THE PURPOSE OF DETERMINING SETBACK REQUIREMENTS.
- ALL DISTANCES ARE IN FEET UNLESS OTHERWISE NOTED.
- *1: WITH APPROVAL FROM FIDDLER'S CREEK DESIGN REVIEW COMMITTEE, REAR YARDS FOR PRINCIPAL STRUCTURES ON LOTS WHICH ADJUT GOLF COURSE, LAKE, OPEN SPACE OR RESERVE AREAS: SETBACK FROM LAKE FOR ALL PRINCIPAL AND ACCESSORY USES MAY BE 0' PROVIDING ARCHITECTURAL BANK TREATMENT IS INCORPORATED INTO DESIGN AND SUBJECT TO WRITTEN APPROVAL FROM PROJECT PLAN REVIEW.
- WITH APPROVAL FROM FIDDLER'S CREEK DESIGN REVIEW COMMITTEE, FRONT YARDS SHALL BE MEASURED AS FOLLOWS:
- *2: BUILDING HEIGHT SHALL BE THE VERTICAL DISTANCE MEASURED FROM THE FIRST HABITABLE FINISHED FLOOR ELEVATION TO THE UPPERMOST FINISHED CEILING ELEVATION OF THE STRUCTURE.
- *3: SINGLE FAMILY DWELLINGS WHICH PROVIDE FOR TWO (2) PARKING SPACES WITHIN AN ENCLOSED GARAGE AND PROVIDE FOR GUEST PARKING OTHER THAN IN PRIVATE DRIVEWAYS MAY REDUCE THE FRONT YARD REQUIREMENT TO FIVE (5) FEET FOR THE GARAGE AND FIFTEEN FEET (15') FOR THE REMAINING STRUCTURES.
- *4: EACH HALF OF A DUPLEX UNIT REQUIRES A LOT AREA ALLOCATION OF 3,500 S.F. FOR A TOTAL MINIMUM LOT AREA OF 7,000 S.F.
- *5: MINIMUM LOT WIDTH MAY BE REDUCED BY FIFTY PERCENT (50%) FOR CUL-DE-SAC OR CURVED FRONTAGE LOTS PROVIDED MINIMUM LOT AREA REQUIREMENT IS STILL MAINTAINED, AND MINIMUM LOT WIDTHS ARE OBTAINED AT FRONT OF THE BUILDABLE AREA WHEN SETBACKS ARE APPLIED.
- *6: ZERO FEET (0') OR A MINIMUM OF FIVE FEET (5') ON EITHER SIDE EXCEPT THAT WHERE THE ZERO FOOT (0') YARD OPTION IS UTILIZED, THE OPPOSITE SIDE OF THE STRUCTURE SHALL HAVE A TEN FOOT (10') YARD, OR A MINIMUM OF TEN FEET (10') OF SEPARATION BETWEEN STRUCTURES SHALL BE MAINTAINED AT ALL POINTS.
- *7: MAXIMUM HEIGHT OF STRUCTURES SHALL BE TEN (10) STORES OR ONE-HUNDRED FEET (100'), WHICHEVER IS GREATER.
- *8: STRUCTURES OVER FOUR (4) STORES AND FIFTY FEET (50') IN HEIGHT SHALL BE SET BACK A MINIMUM OF THE BUILDING HEIGHT FROM (4) PUD BOUNDARIES, EXCEPT WHERE THE BOUNDARY IS ADJUTING STATE OWNED CONSERVATION LAND, OR WHERE THE PUD ADJUTS RURAL DESIGNATED LAND; AND (5) WHERE THE ADJUTING LAND USE (ON A SEPARATE TRACT) IS A SINGLE FAMILY, ATTACHED OR DETACHED, DWELLING UNIT.

LOT SUMMARY TABLE

LOT No.	AVG. WIDTH (FT.)	AVG. LOT DEPTH (FT.)	AREA (S.F.)
1	280	236	53,886
2	101	284	28,483
3	100	290	29,287
4	103	275	27,336
5	100	256	25,790
6	100	257	25,514
7	101	246	24,813
8	102	248	24,294
9	104	277	28,097
10	117	273	32,255
11	104	235	22,989
12	103	209	21,557
13	99	151	13,987
14	159	143	30,887
15	136	134	18,026
16	130	122	16,602
17	153	134	18,665
18	101	171	14,360
19	81	189	15,242
20	98	176	16,758
21	88	167	13,561
22	84	189	15,235
23	81	215	17,397
24	80	224	18,051
25	81	218	17,569
26	91	181	13,991
27	83	157	12,237
28	82	177	15,337
29	119	190	23,474
30	97	190	17,910
31	90	191	17,522



LEGEND

D.E.	DRAINAGE EASEMENT	EX. PAVEMENT
E.L.	ELEVATION	PROP. PAVEMENT
F.C.S.E.	FIDDLER'S CREEK SPECIAL EASEMENT	EX. SIDEWALK
FT.	FEET	PROP. SIDEWALK/CONCRETE
L.B.E.	LANDSCAPE BUFFER EASEMENT	
S.F.	SQUARE FEET	
TYP.	TYPICAL	

Revision	Date	Description

DESIGNED BY: J.D.
 DRAWN BY: K.L.M.
 APPROVED: M.W.M.
 JOB CODE: FC6SP
 SCALE: 1" = 60'

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HIDDEN COVE
 ZONING DATA SHEET

ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
 CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.309

MUNICIPALITY: COLLIER COUNTY
 SEC./TOWNSHIP/RNG: 23/515/26E
 DATE: JANUARY 2023
 SUBMITTAL TYPE: PPL
 SHEET 4 OF 17

MARK W. MINOR, P.E.
 FLORIDA P.E. LICENSE NO. 45324

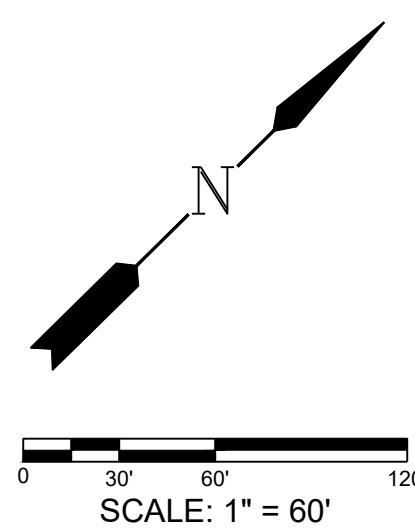
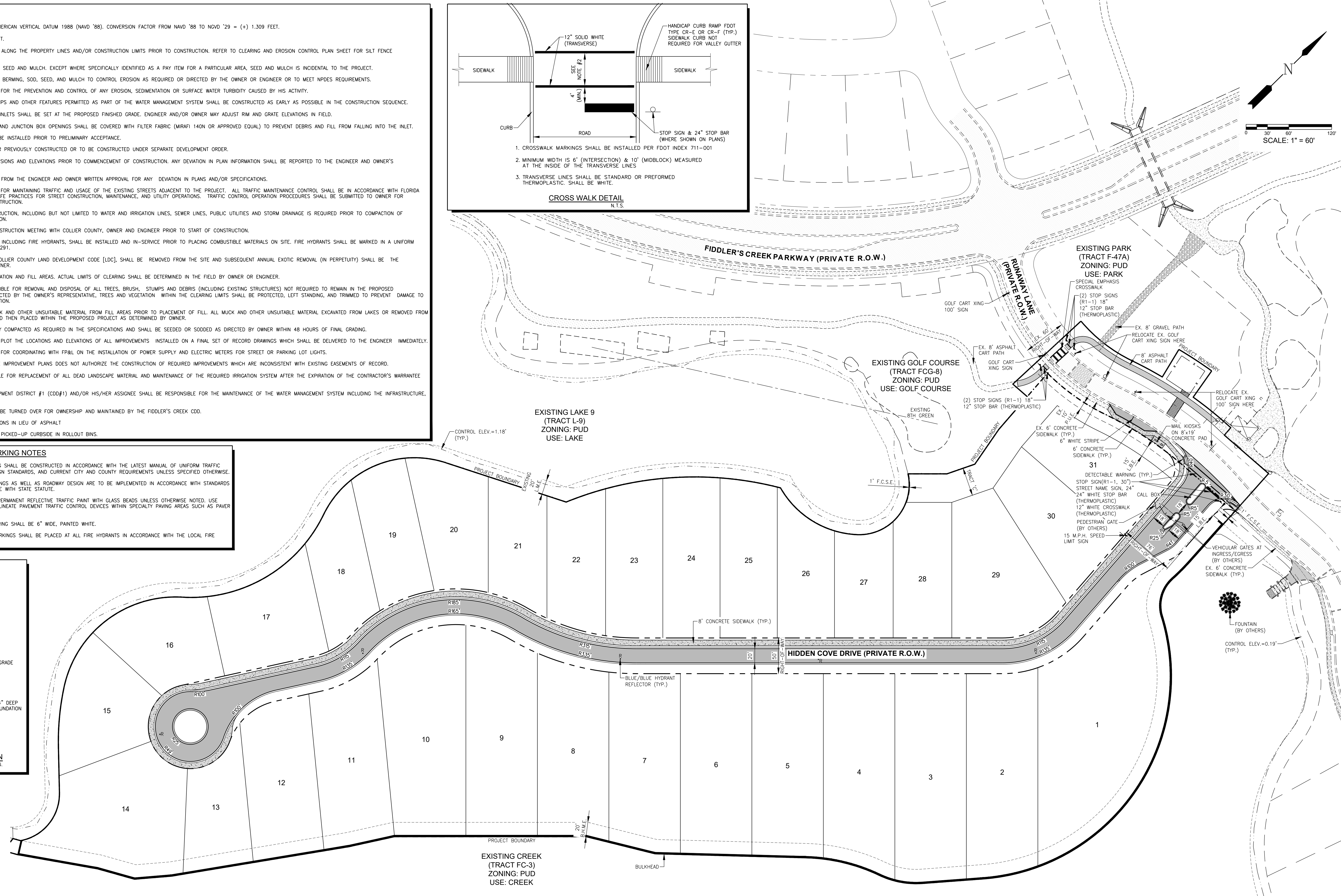
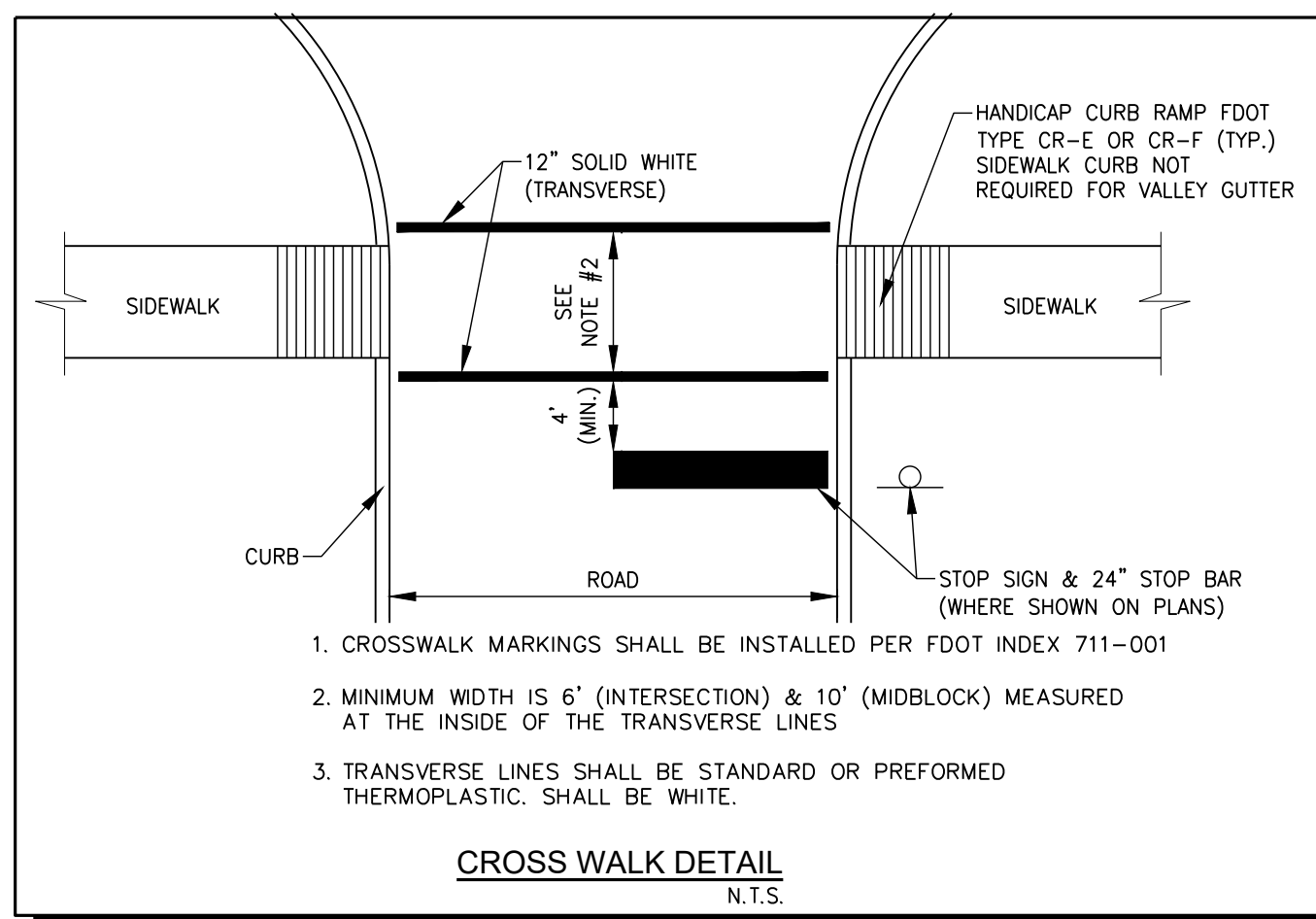
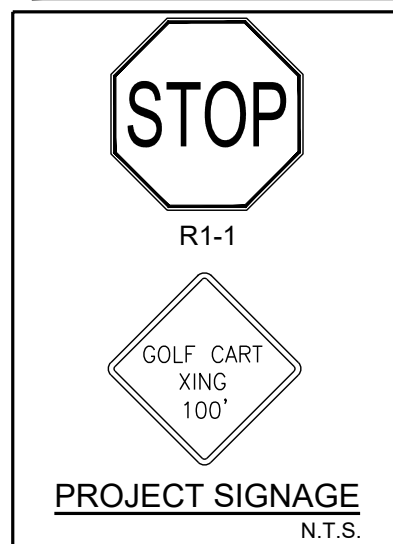
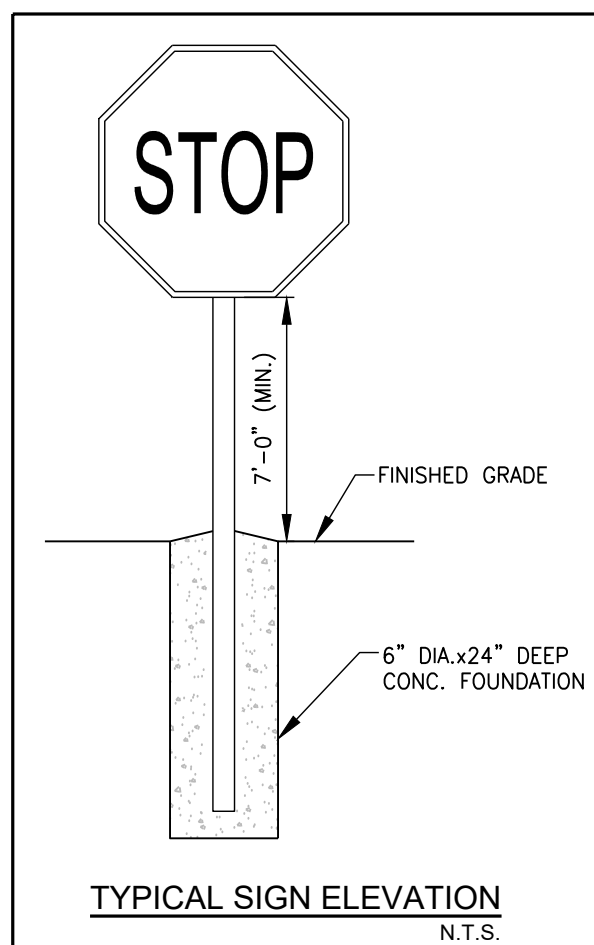
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GENERAL NOTES:

- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88). CONVERSION FACTOR FROM NAVD '88 TO NGVD '29 = (+) 1.309 FEET.
- STATIONING BASED ON $\frac{1}{4}$ OF PAVEMENT.
- BLACK SILT FENCE SHALL BE PLACED ALONG THE PROPERTY LINES AND/OR CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION. REFER TO CLEARING AND EROSION CONTROL PLAN SHEET FOR SILT FENCE CONSTRUCTION INFORMATION.
- ALL DISTURBED AREAS SHALL RECEIVE SEED AND MULCH. EXCEPT WHERE SPECIFICALLY IDENTIFIED AS A PAY ITEM FOR A PARTICULAR AREA, SEED AND MULCH IS INCIDENTAL TO THE PROJECT.
- UTILIZE SYNTHETIC BALES, TEMPORARY BERMING, SOD, SEED, AND MULCH TO CONTROL EROSION AS REQUIRED OR DIRECTED BY THE OWNER OR ENGINEER OR TO MEET NPDES REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION AND CONTROL OF ANY EROSION, SEDIMENTATION OR SURFACE WATER TURBIDITY CAUSED BY HIS ACTIVITY.
- CONTROL STRUCTURES, SEDIMENT SUMPS AND OTHER FEATURES PERMITTED AS PART OF THE WATER MANAGEMENT SYSTEM SHALL BE CONSTRUCTED AS EARLY AS POSSIBLE IN THE CONSTRUCTION SEQUENCE.
- ALL JUNCTION BOX RIMS AND GRATE INLETS SHALL BE SET AT THE PROPOSED FINISHED GRADE. ENGINEER AND/OR OWNER MAY ADJUST RIM AND GRATE ELEVATIONS IN FIELD.
- DURING CONSTRUCTION, GRATE INLET AND JUNCTION BOX OPENINGS SHALL BE COVERED WITH FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL) TO PREVENT DEBRIS AND FILL FROM FALLING INTO THE INLET.
- LANDSCAPING AND IRRIGATION SHALL BE INSTALLED PRIOR TO PRELIMINARY ACCEPTANCE.
- EXISTING REFERS TO FACILITIES EITHER PREVIOUSLY CONSTRUCTED OR TO BE CONSTRUCTED UNDER SEPARATE DEVELOPMENT ORDER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER AND OWNER WRITTEN APPROVAL FOR ANY DEVIATION IN PLANS AND/OR SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
- INSTALLATION OF SUBSURFACE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WATER AND IRRIGATION LINES, SEWER LINES, PUBLIC UTILITIES AND STORM DRAINAGE IS REQUIRED PRIOR TO COMPACTION OF SUBGRADE AND ROADWAY CONSTRUCTION.
- CONTRACTOR SHALL ATTEND PRE-CONSTRUCTION MEETING WITH COLLIER COUNTY, OWNER AND ENGINEER PRIOR TO START OF CONSTRUCTION.
- THE FIRE PROTECTION WATER SUPPLY INCLUDING FIRE HYDRANTS, SHALL BE INSTALLED AND IN-SERVICE PRIOR TO PLACING COMBUSTIBLE MATERIALS ON SITE. FIRE HYDRANTS SHALL BE MARKED IN A UNIFORM MANNER, IN ACCORDANCE WITH NFPA 291.
- EXOTIC VEGETATION AS DEFINED BY COLLIER COUNTY LAND DEVELOPMENT CODE [LDC], SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC REMOVAL (IN PERPETUITY) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONTRACTOR SHALL CLEAR ALL EXCAVATION AND FILL AREAS. ACTUAL LIMITS OF CLEARING SHALL BE DETERMINED IN THE FIELD BY OWNER OR ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS AND DEBRIS (INCLUDING EXISTING STRUCTURES) NOT REQUIRED TO REMAIN IN THE PROPOSED CONSTRUCTION AREA. WHERE SO DEPICTED BY THE OWNER'S REPRESENTATIVE, TREES AND VEGETATION WITHIN THE CLEARING LIMITS SHALL BE PROTECTED, LEFT STANDING, AND TRIMMED TO PREVENT DAMAGE TO LIMBS AND ROOTS DURING CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL MUCK AND OTHER UNSUITABLE MATERIAL FROM FILL AREAS PRIOR TO PLACEMENT OF FILL. ALL MUCK AND OTHER UNSUITABLE MATERIAL EXCAVATED FROM LAKES OR REMOVED FROM FILL AREAS SHALL BE STOCKPILED AND THEN PLACED WITHIN THE PROPOSED PROJECT AS DETERMINED BY OWNER.
- ALL FILL SLOPES SHALL BE PROPERLY COMPACTED AS REQUIRED IN THE SPECIFICATIONS AND SHALL BE SEED OR SODDED AS DIRECTED BY OWNER WITHIN 48 HOURS OF FINAL GRADING.
- THE CONTRACTOR SHALL ACCURATELY PLOT THE LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INSTALLED ON A FINAL SET OF RECORD DRAWINGS WHICH SHALL BE DELIVERED TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH FP&L ON THE INSTALLATION OF POWER SUPPLY AND ELECTRIC METERS FOR STREET OR PARKING LOT LIGHTS.
- THE REVIEW AND APPROVAL OF THESE IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORD.
- THE PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF ALL DEAD LANDSCAPE MATERIAL AND MAINTENANCE OF THE REQUIRED IRRIGATION SYSTEM AFTER THE EXPIRATION OF THE CONTRACTOR'S WARRANTY PERIOD.
- FIDDLER'S CREEK COMMUNITY DEVELOPMENT DISTRICT #1 (CDD#1) AND/OR HIS/HER ASSIGNEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE WATER MANAGEMENT SYSTEM INCLUDING THE INFRASTRUCTURE, OPEN SPACE AND PAVED AREAS.
- ALL STREETS WITHIN PROJECT SHALL BE TURNED OVER FOR OWNERSHIP AND MAINTAINED BY THE FIDDLER'S CREEK CDD.
- PAVERS MAY BE USED AT INTERSECTIONS IN LIEU OF ASPHALT.
- SOLID WASTE AND RECYCLABLES ARE PICKED-UP CURBSIDE IN ROLLOUT BINS.

ROADWAY SIGNING AND MARKING NOTES

- ROADWAY SIGNAGE AND PAVING MARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FOOT DESIGN STANDARDS, AND CURRENT CITY AND COUNTY REQUIREMENTS UNLESS SPECIFIED OTHERWISE.
- TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS WELL AS ROADWAY DESIGN ARE TO BE IMPLEMENTED IN ACCORDANCE WITH STANDARDS ADOPTED BY THE STATE IN ACCORDANCE WITH STATE STATUTE.
- FINAL PAVEMENT MARKINGS SHALL BE PERMANENT REFLECTIVE TRAFFIC PAINT WITH GLASS BEADS UNLESS OTHERWISE NOTED. USE WHITE CONCRETE PAVER BRICKS TO DELINEATE PAVEMENT TRAFFIC CONTROL DEVICES WITHIN SPECIALTY PAVING AREAS SUCH AS PAVER BRICKS.
- ALL NON-HANDICAP PARKING LOT STRIPING SHALL BE 6" WIDE, PAINTED WHITE.
- BLUE RAISED REFLECTIVE PAVEMENT MARKINGS SHALL BE PLACED AT ALL FIRE HYDRANTS IN ACCORDANCE WITH THE LOCAL FIRE DISTRICT.



LEGEND

B.H.M.E.	BULKHEAD MAINTENANCE EASEMENT	[Symbol]	EX. PAVEMENT
C.U.E.	COUNTY UTILITY EASEMENT	[Symbol]	PROP. PAVEMENT
ELEV.	ELEVATION	[Symbol]	EX. SIDEWALK/CONCRETE
F.C.S.E.	FIDDLER'S CREEK SPECIAL EASEMENT	[Symbol]	PROP. SIDEWALK/CONCRETE
L.B.E.	LANDSCAPE BUFFER EASEMENT	[Symbol]	PROP. ASPHALT CART PATH
R.O.W.	RIGHT-OF-WAY	[Symbol]	
TYP.	TYPICAL	[Symbol]	

Revision	Date	Description

DESIGNED BY:	J.D.
DRAWN BY:	K.L.M.
APPROVED:	M.W.M.
JOB CODE:	FC6SP
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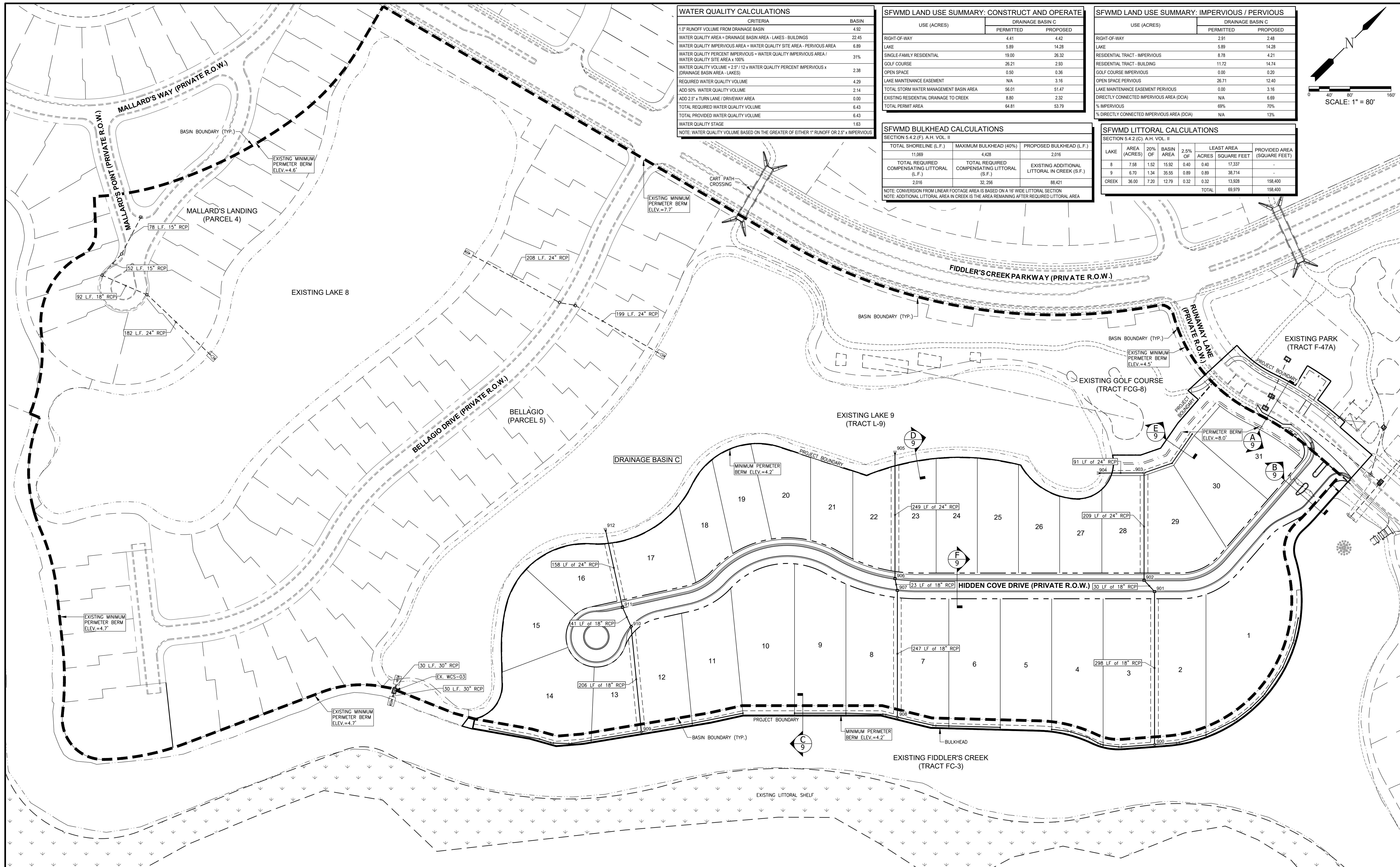
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 PPL
 SHEET 5 OF 17

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WATER QUALITY CALCULATIONS	
CRITERIA	BASIN
1.0" RUNOFF VOLUME FROM DRAINAGE BASIN	4.92
WATER QUALITY AREA = DRAINAGE BASIN AREA - LAKES - BUILDINGS	22.45
WATER QUALITY IMPERVIOUS AREA = WATER QUALITY SITE AREA - PERVIOUS AREA	6.89
WATER QUALITY PERCENT IMPERVIOUS = WATER QUALITY IMPERVIOUS AREA / WATER QUALITY SITE AREA x 100%	31%
WATER QUALITY VOLUME = 2.5" / 12" x WATER QUALITY PERCENT IMPERVIOUS x (DRAINAGE BASIN AREA - LAKES)	2.38
REQUIRED WATER QUALITY VOLUME	4.29
ADD 50% WATER QUALITY VOLUME	2.14
ADD 2.5' x TURN LANE / DRIVEWAY AREA	0.00
TOTAL REQUIRED WATER QUALITY VOLUME	6.43
TOTAL PROVIDED WATER QUALITY VOLUME	6.43
WATER QUALITY STAGE	1.63

NOTE: WATER QUALITY VOLUME BASED ON THE GREATER OF EITHER 1" RUNOFF OR 2.5" x IMPERVIOUS

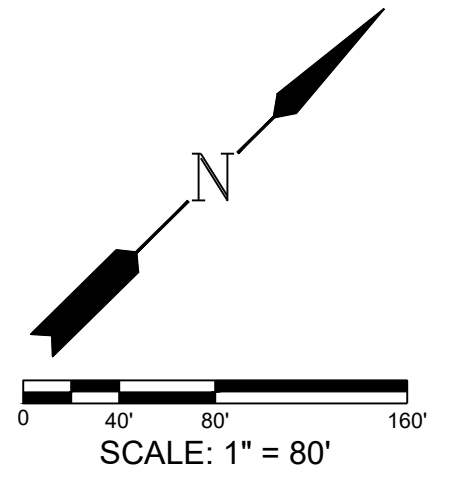
USE (ACRES)	DRAINAGE BASIN C	
	PERMITTED	PROPOSED
RIGHT-OF-WAY	4.41	4.42
LAKE	5.89	14.28
SINGLE-FAMILY RESIDENTIAL	19.00	26.32
GOLF COURSE	26.21	2.93
OPEN SPACE	0.50	0.36
LAKE MAINTENANCE EASEMENT	N/A	3.16
TOTAL STORM WATER MANAGEMENT BASIN AREA	56.01	51.47
EXISTING RESIDENTIAL DRAINAGE TO CREEK	8.80	2.32
TOTAL PERMIT AREA	64.81	53.79

USE (ACRES)	DRAINAGE BASIN C	
	PERMITTED	PROPOSED
RIGHT-OF-WAY	2.91	2.48
LAKE	5.89	14.28
RESIDENTIAL TRACT - IMPERVIOUS	8.78	4.21
RESIDENTIAL TRACT - BUILDING	11.72	14.74
GOLF COURSE IMPERVIOUS	0.00	0.20
OPEN SPACE PERVIOUS	26.71	12.40
LAKE MAINTENANCE EASEMENT PERVIOUS	0.00	3.16
DIRECTLY CONNECTED IMPERVIOUS AREA (DCA)	N/A	6.89
% IMPERVIOUS	69%	70%
% DIRECTLY CONNECTED IMPERVIOUS AREA (DCA)	N/A	13%

SFWMD BULKHEAD CALCULATIONS		
SECTION 5.4.2 (F), A.H. VOL. II		
TOTAL SHORELINE (L.F.)	MAXIMUM BULKHEAD (40%)	PROPOSED BULKHEAD (L.F.)
11,069	4,428	2,016
TOTAL REQUIRED COMPENSATING LITTORAL (L.F.)	TOTAL REQUIRED COMPENSATING LITTORAL (S.F.)	EXISTING ADDITIONAL LITTORAL IN CREEK (S.F.)
2,016	32,256	88,421

NOTE: CONVERSION FROM LINEAR FOOTAGE AREA IS BASED ON A 16' WIDE LITTORAL SECTION
NOTE: ADDITIONAL LITTORAL AREA IN CREEK IS THE AREA REMAINING AFTER REQUIRED LITTORAL AREA

SFWMD LITTORAL CALCULATIONS				
SECTION 5.4.2 (C), A.H. VOL. II				
LAKE	AREA (ACRES)	20% OF BASIN AREA	2.5% OF	PROVIDED AREA (SQUARE FEET)
8	7.58	1.52	15.92	0.40
9	6.70	1.34	35.55	0.89
CREEK	36.00	7.20	12.79	0.32
TOTAL				158,400



LEGEND	
ELEV.	ELEVATION
L.F.	LINEAR FEET
TYP.	TYPICAL
RCP	REINFORCED CONCRETE PIPE
	EX. LITTORAL SHELF

Revision	Date	Description

DESIGNED BY: J.D.
 DRAWN BY: K.L.M.
 APPROVED: M.W.M.
 JOB CODE: FC6SP
 SCALE: 1" = 80'

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 3800 Via Del Rey
 Bonita Springs, Florida 34134
 Business LC 26000266

HIDDEN COVE
MASTER DRAINAGE PLAN

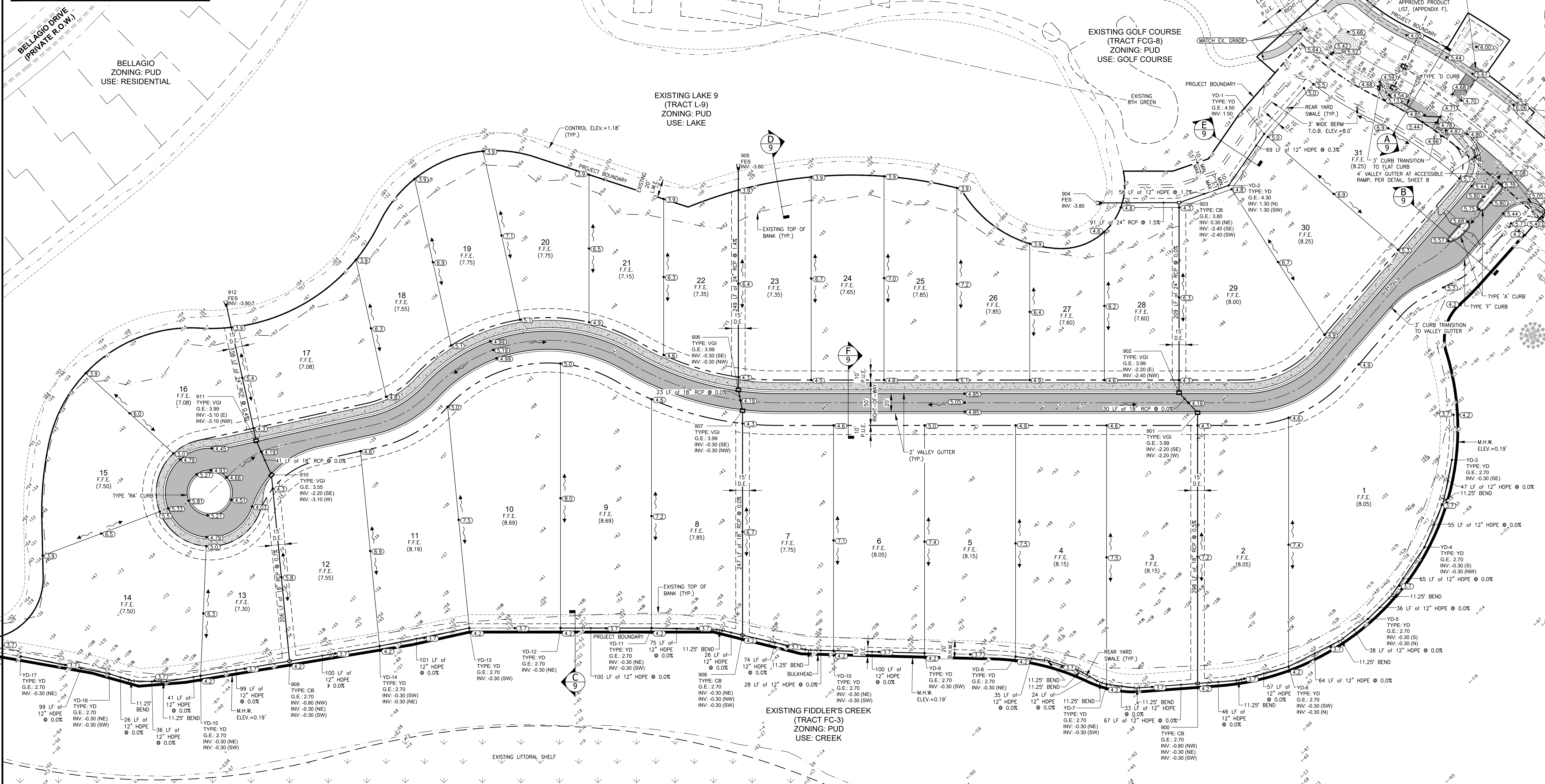
ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
 CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+) 1.309

MARK W. MINOR, P.E.
 FLORIDA P.E. LICENSE NO. 45324

MUNICIPALITY: COLLIER COUNTY
 SEC./TOWNSHIP/RNG 23/515/26E
 DATE: JANUARY 2023
 SUBMITTAL TYPE: PPL
 SHEET 6 OF 17

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CRITERIA	DRAINAGE BASIN C	
	PERMITTED	PROPOSED
CONTROL ELEVATION (FT-NAVD)	1.18	1.18
10-YEAR, 1-DAY RAINFALL (INCH)	N/A	7.50
25-YEAR, 3-DAY RAINFALL (INCH)	12.30	12.30
100-YEAR, 3-DAY RAINFALL (INCH)	15.30	15.30
ALLOWABLE DISCHARGE RATE (CFS)	6.72	4.83
PEAK DISCHARGE RATE (CFS)	5.79	4.69
10-YEAR, 1-DAY PEAK STAGE (FT)	N/A	2.82
25-YEAR, 3-DAY PEAK STAGE (FT)	3.64	3.81
100-YEAR, 3-DAY PEAK STAGE (ZERO DISCHARGE) (FT)	4.49	4.85
MINIMUM RECOMMENDED PARKING ELEV. (FT)	N/A	N/A
MINIMUM RECOMMENDED ROADWAY ELEV. (FT)	4.19	4.19
MINIMUM RECOMMENDED PERIMETER BERM ELEV. (FT)	4.20	4.20
FEMA ELEV. (FT)	6.00	6.00
MINIMUM RECOMMENDED FINISHED FLOOR (FT)	7.00	7.08



LEGEND	
B.H.M.E.	BULKHEAD MAINTENANCE EASEMENT
CB	CATCH BASIN
D.E.	DRAINAGE EASEMENT
ELEV.	ELEVATION
F.E.S.	FLARED END SECTION
F.F.E.	FINISHED FLOOR ELEVATION
G.E.	GRATE ELEVATION
H.D.P.E.	HIGH DENSITY POLYETHYLENE
J.B.	JUNCTION BOX
LF	LINEAR FEET
M.H.W.	MEAN HIGH WATER
RCP	REINFORCED CONCRETE PIPE
TYP.	TYPICAL
VGI	VALLEY GUTTER INLET
YD	YARD DRAIN
ARROW	FLOW DIRECTION
○	PROPOSED GRADE
○	EXISTING GRADE
EX. PAVEMENT	EXISTING PAVEMENT
PROP. PAVEMENT	PROPOSED PAVEMENT
EX. SIDEWALK/CONCRETE	EXISTING SIDEWALK/CONCRETE
PROP. SIDEWALK/CONCRETE	PROPOSED SIDEWALK/CONCRETE
PROP. ASPHALT CART PATH	PROPOSED ASPHALT CART PATH

Revision	Date	Description

DESIGNED BY:	J.D.
DRAWN BY:	K.L.M.
APPROVED:	M.W.M.
JOB CODE:	FCGSP
SCALE:	1" = 50'

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HIDDEN COVE

GRADING, PAVING AND DRAINAGE PLAN

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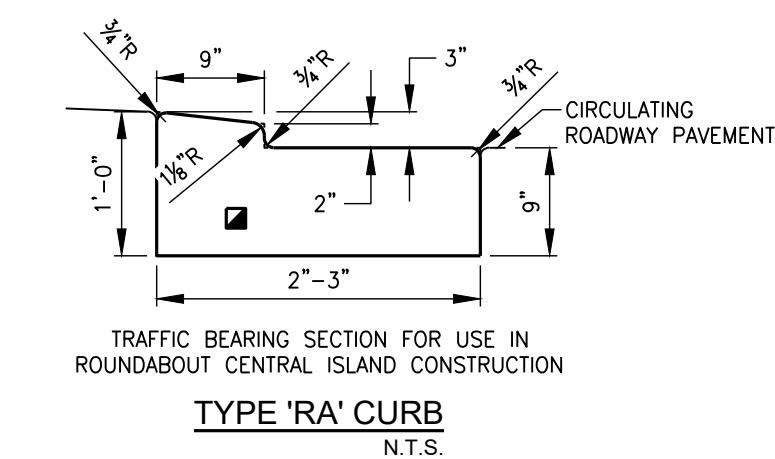
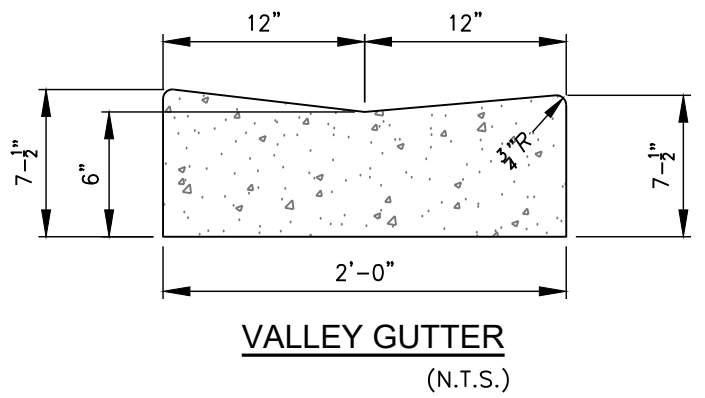
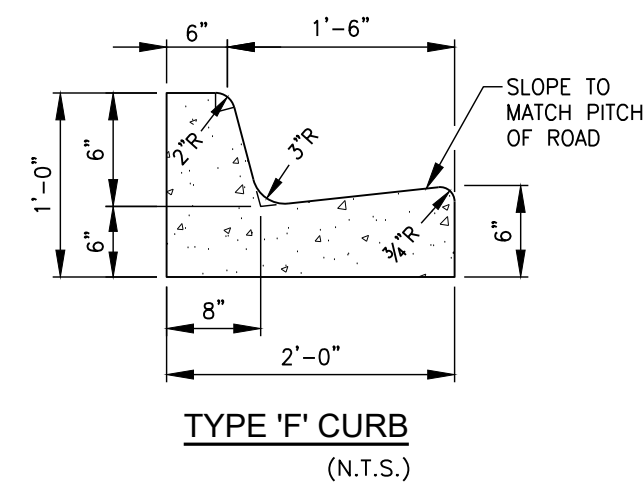
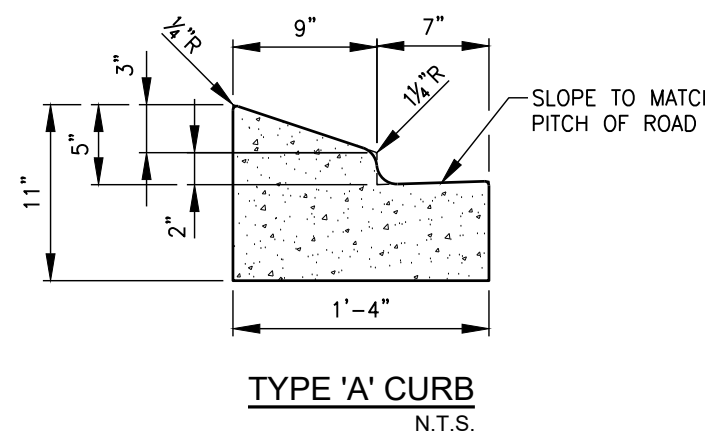
MUNICIPALITY: COLLIER COUNTY
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 DATE: JANUARY 2023
 SUBMITTAL TYPE: PPL

MARK W. MINOR, P.E.
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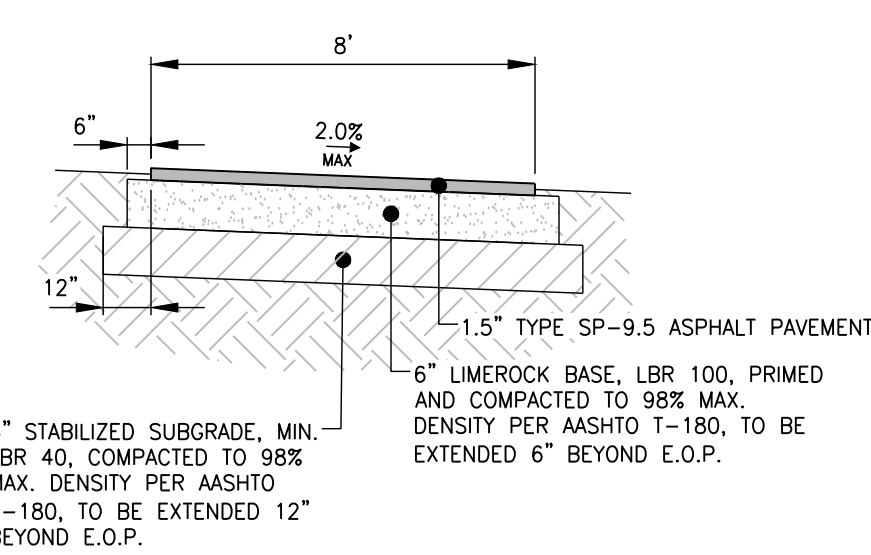
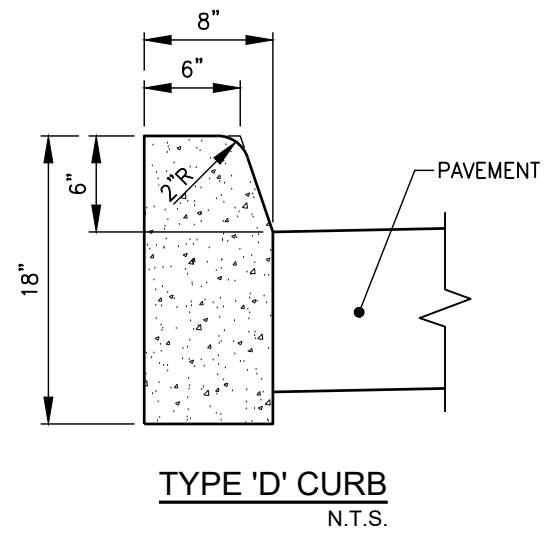
SHEET 7 OF 17

CURB AND GUTTER NOTES

- WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.
- PER F.D.O.T. SPECIFICATIONS, CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I.

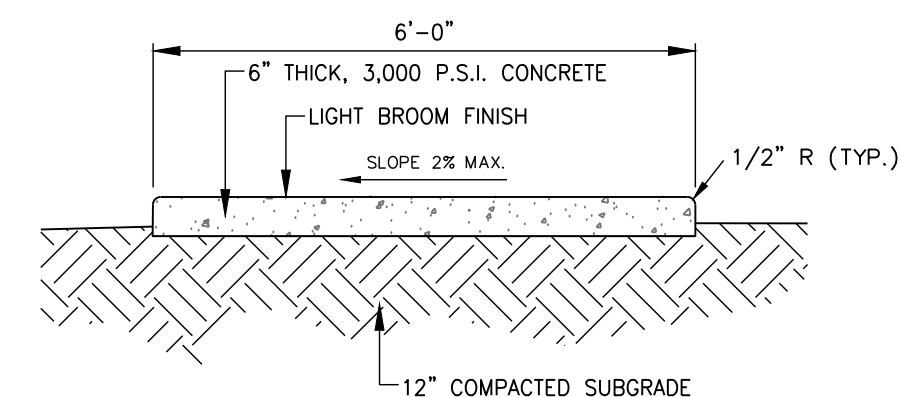


ROTATE ENTIRE SECTION SO THAT GUTTER CROSS SLOPE MATCHES SLOPE OF ADJACENT CIRCULATION ROADWAY PAVEMENT.



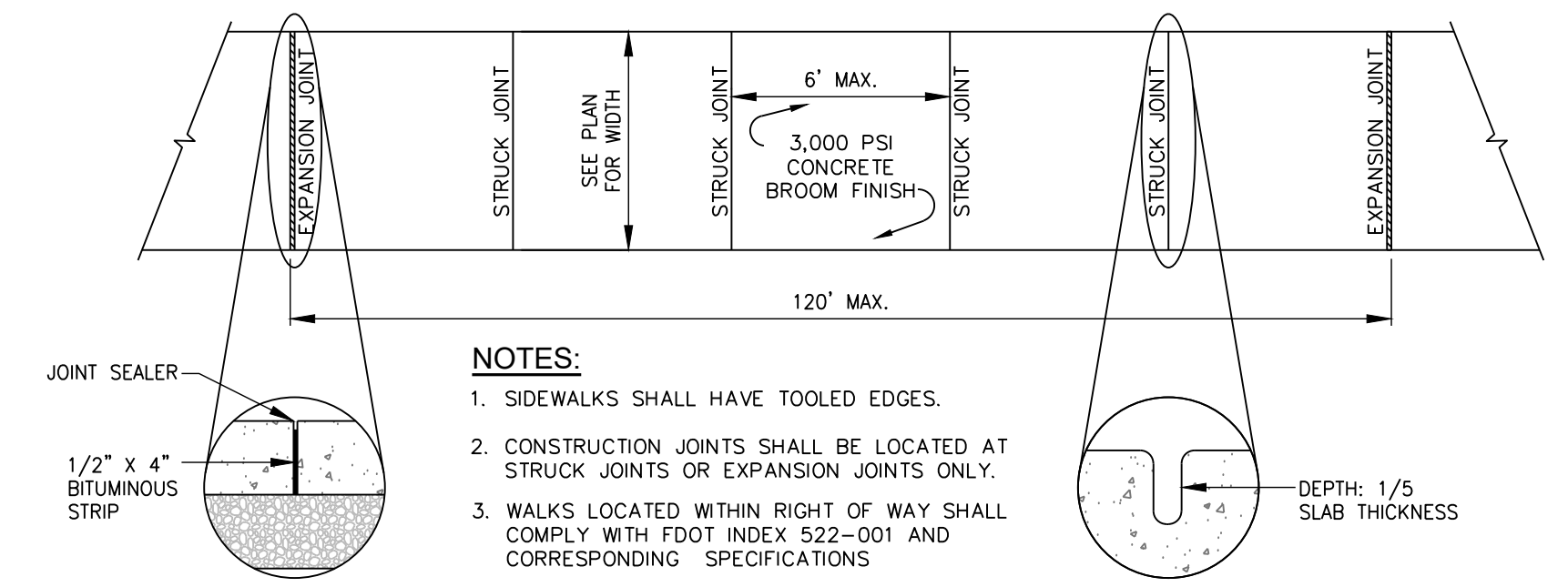
NOTES:

- THE PROPOSED FILL SHALL BE COMPACTED IN 12" LIFTS TO 98% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180 AND THE ENGINEER'S SPECIFICATIONS.
- SUBGRADE SHALL BE SAND, COMPACTED TO A FIRM EVEN SURFACE, TRUE TO GRADE AND CROSS-SECTION, AND BE MOIST WHEN CONCRETE IS PLACED.



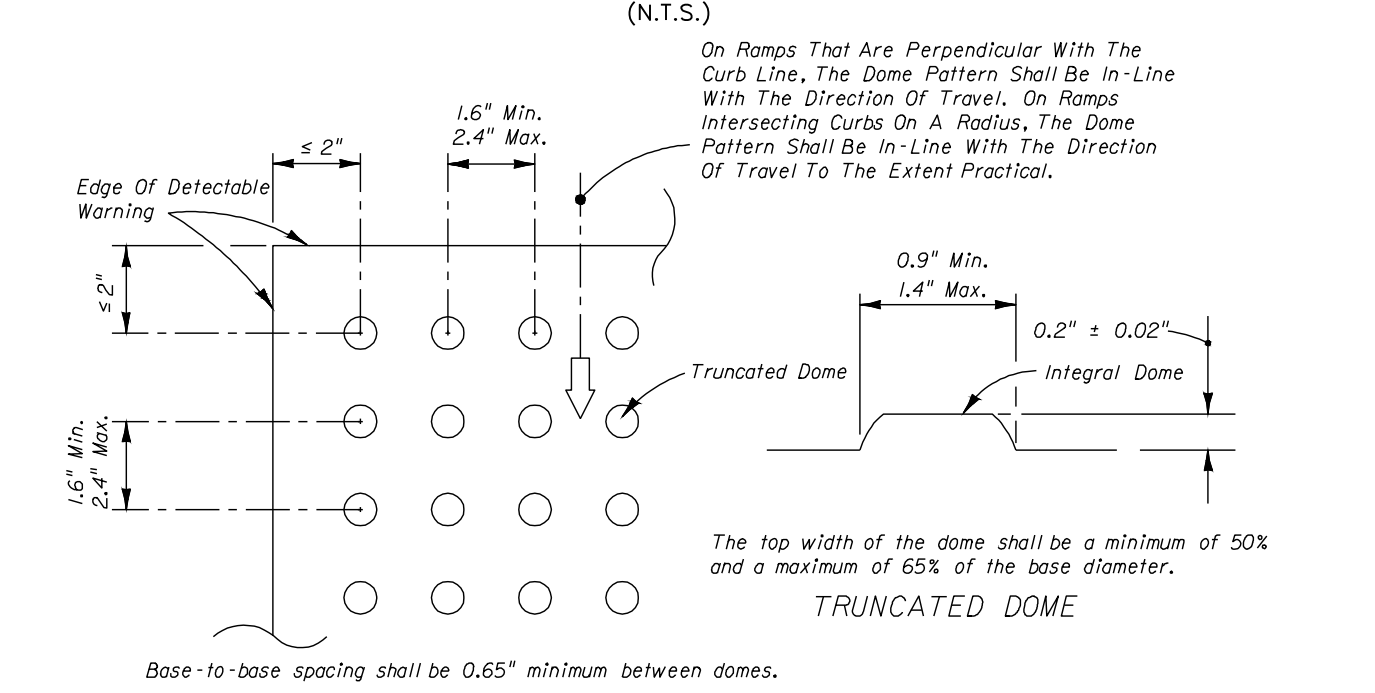
NOTES:

- THE PROPOSED FILL SHALL BE COMPACTED IN 12" LIFTS TO 98% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180 AND THE ENGINEER'S SPECIFICATIONS.
- SUBGRADE SHALL BE SAND, COMPACTED TO A FIRM EVEN SURFACE, TRUE TO GRADE AND CROSS-SECTION, AND BE MOIST WHEN CONCRETE IS PLACED.
- SIDEWALK SHALL HAVE CONTRACTION JOINTS AT 6' INTERVALS AND AN EXPANSION JOINT EVERY 120' MAXIMUM.

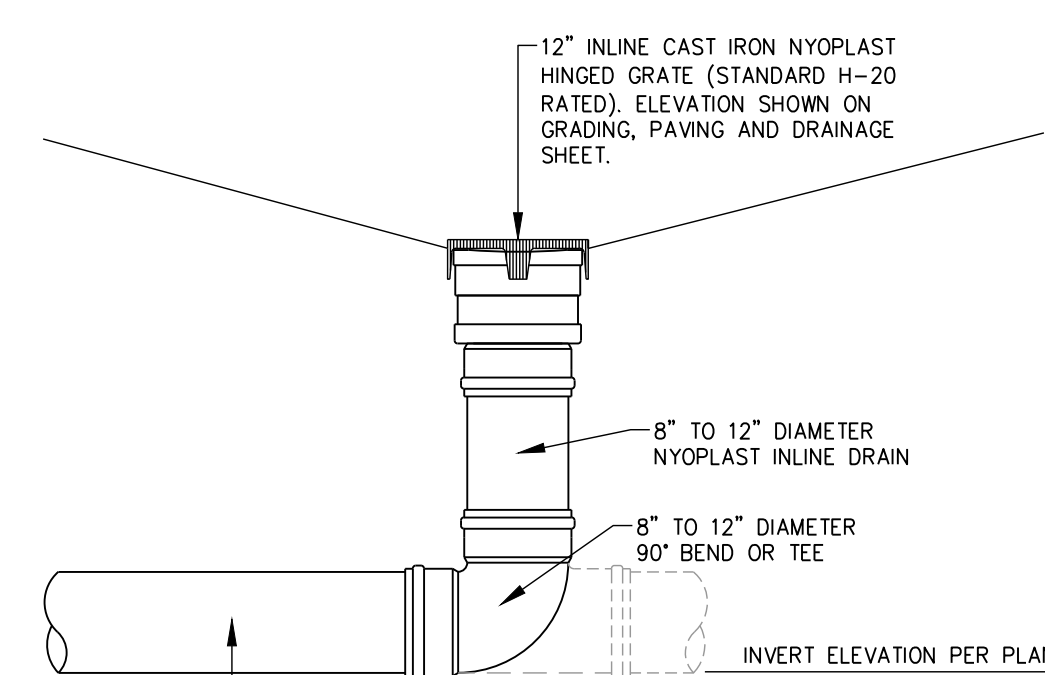


NOTES:

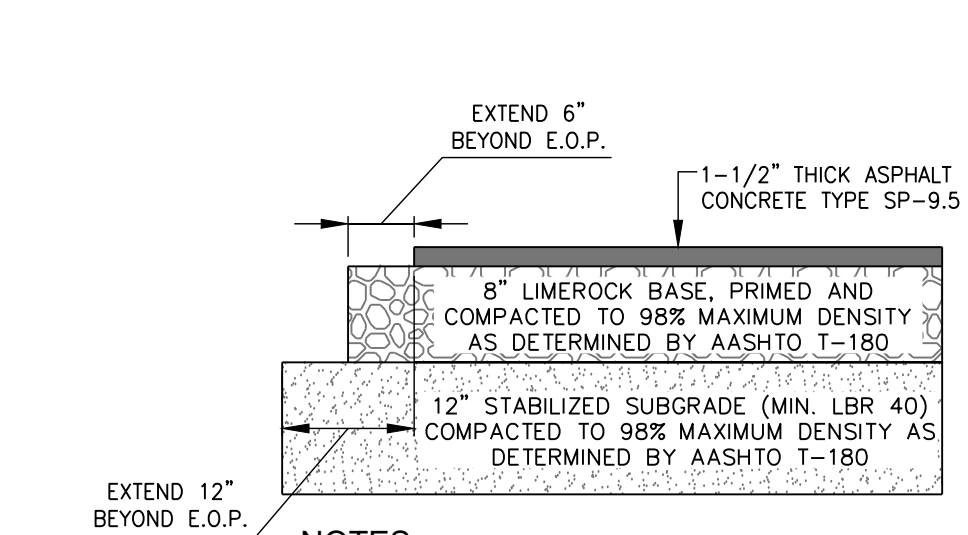
- SIDEWALKS SHALL HAVE TOOLED EDGES.
- CONSTRUCTION JOINTS SHALL BE LOCATED AT STRUCK JOINTS OR EXPANSION JOINTS ONLY.
- WALKS LOCATED WITHIN RIGHT OF WAY SHALL COMPLY WITH FDOT INDEX 522-001 AND CORRESPONDING SPECIFICATIONS.



All Sidewalk Curb Ramps Shall Have Detectable Warning Surfaces That Extend The Full Width Of The Ramp And In The Direction Of Travel 24 Inches (600 mm) From The Back Of Curb.

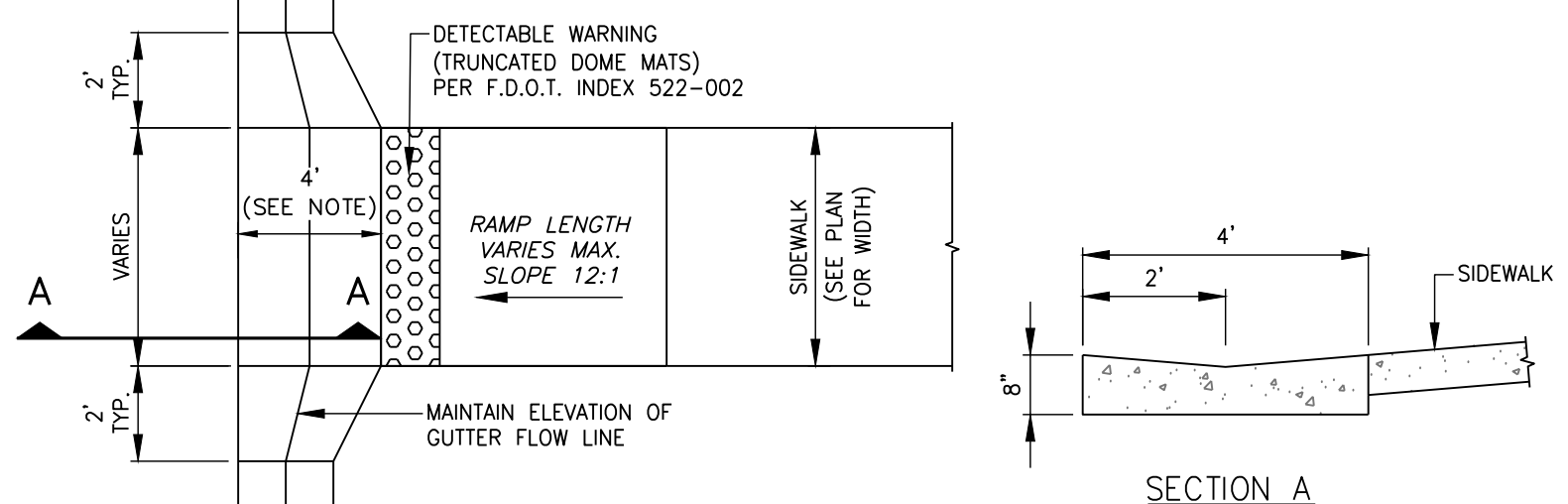
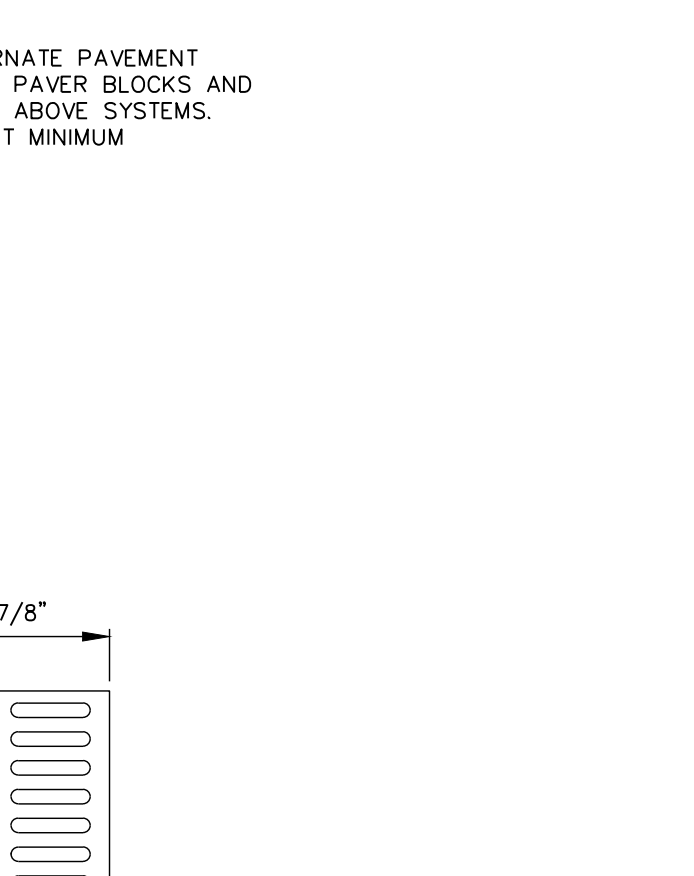
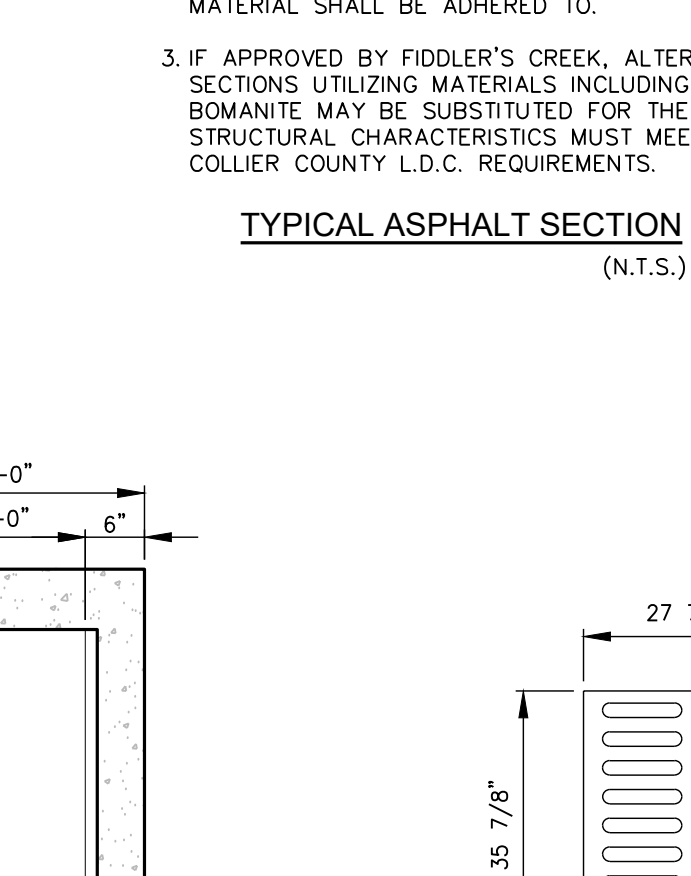
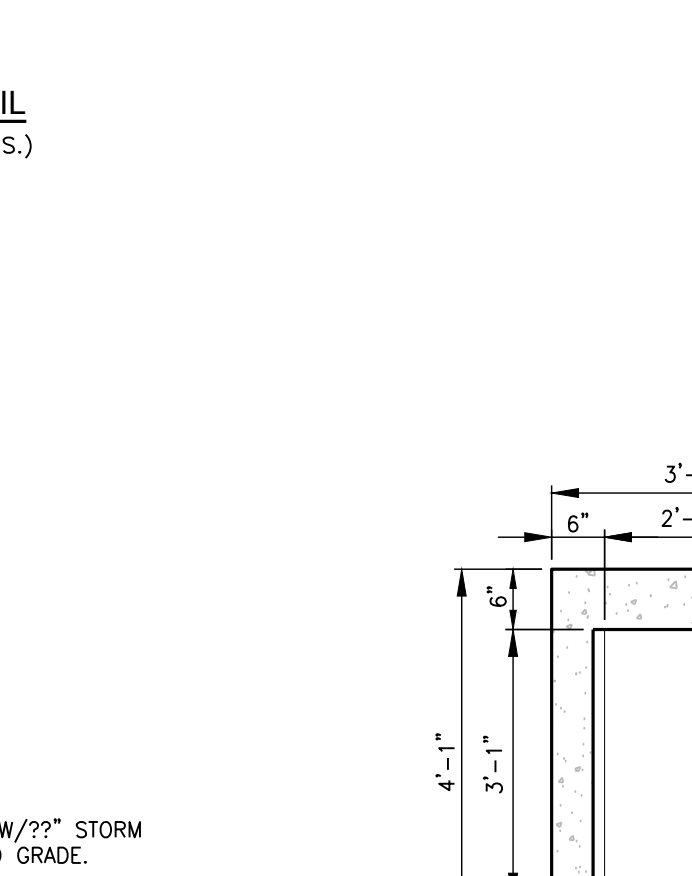
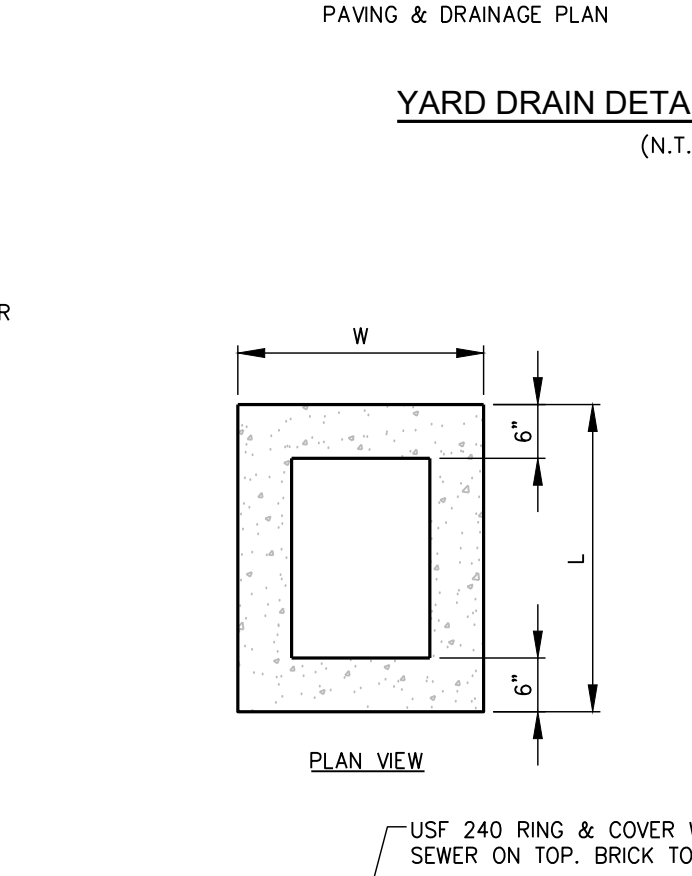
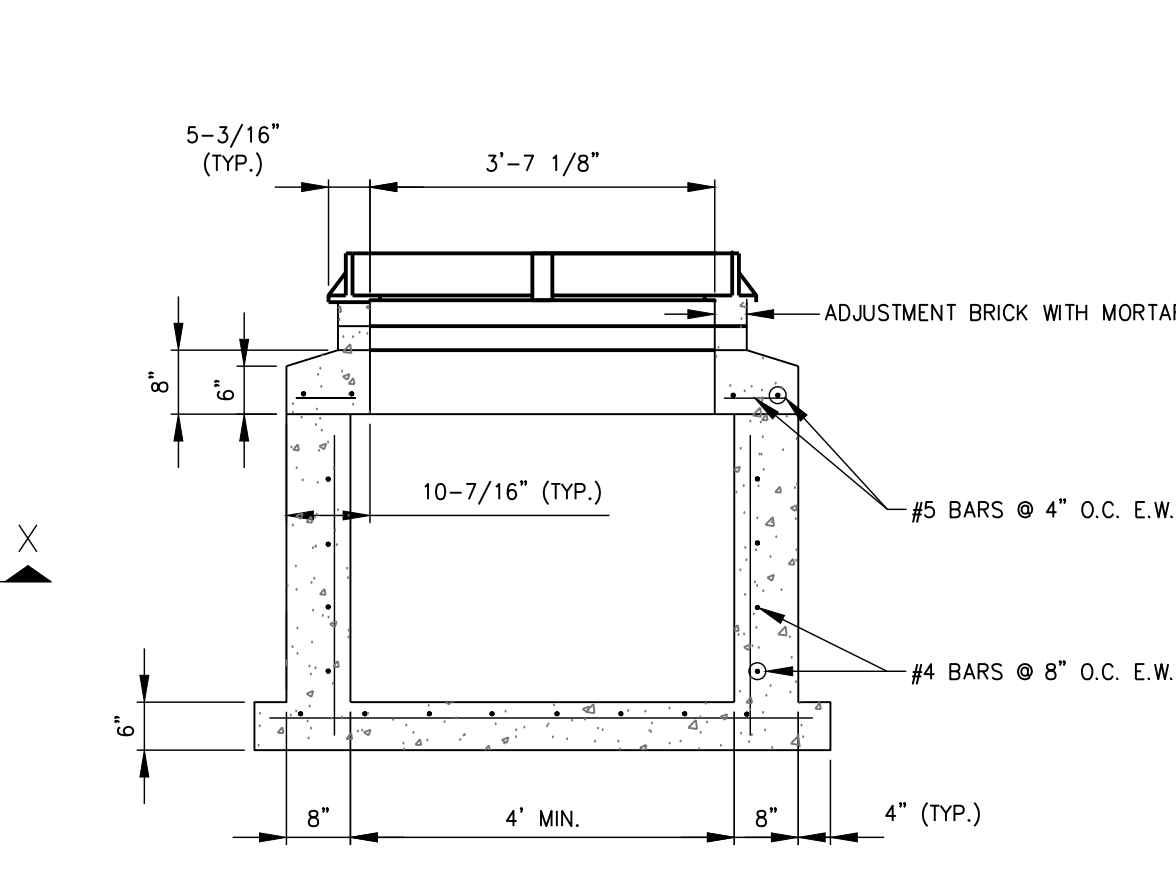
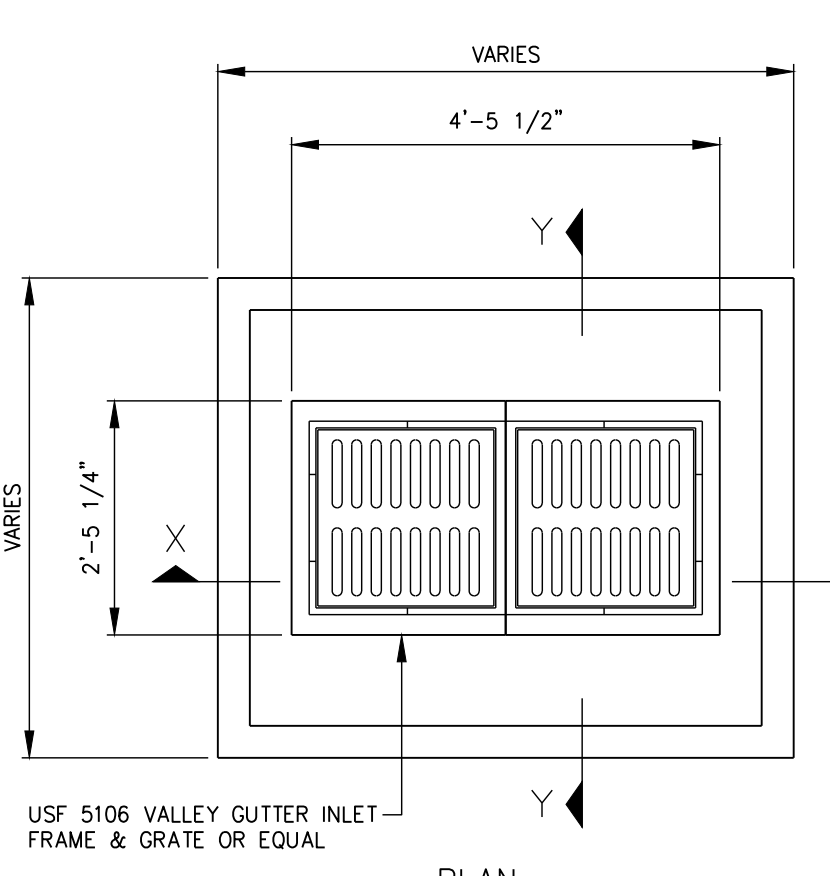


8" DIA. SDR 35 PVC SEWER TO 12" DIA. SDR 35 PVC SEWER PER GRADING, PAVING & DRAINAGE PLAN

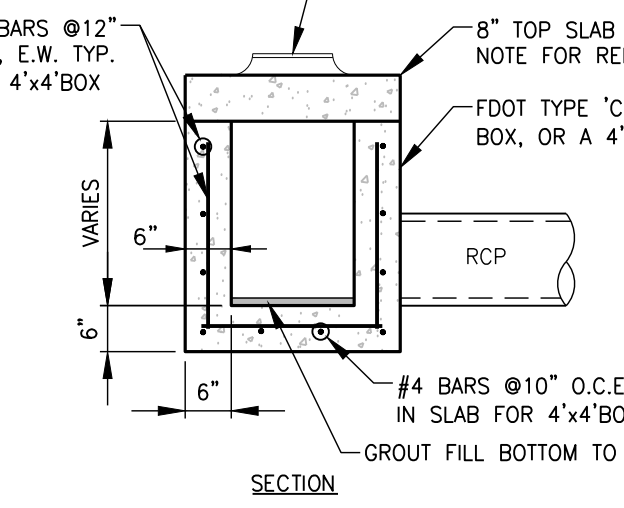


NOTES:

- ASPHALTIC CONCRETE PAVEMENT (TYPE SP-9.5) SHALL BE CONSTRUCTED IN TWO 3/4" LIFTS. THE SECOND LIFT SHALL BE CONSTRUCTED AFTER SUBSTANTIAL COMPLETION OF BUILDING CONSTRUCTION.
- 1-1/2" LIMEROCK BASE MATERIAL MAY BE SUBSTITUTED AS AN ALTERNATE DESIGN TO THE 12" STABILIZED SUBGRADE. ALL SPECIFICATIONS FOR LIMEROCK BASE MATERIAL SHALL BE ADHERED TO.
- IF APPROVED BY FIDDLER'S CREEK, ALTERNATE PAVEMENT SECTIONS UTILIZING MATERIALS INCLUDING PAVER BLOCKS AND BOMANITE MAY BE SUBSTITUTED FOR THE ABOVE SYSTEMS. STRUCTURAL CHARACTERISTICS MUST MEET MINIMUM COLLIER COUNTY L.D.C. REQUIREMENTS.



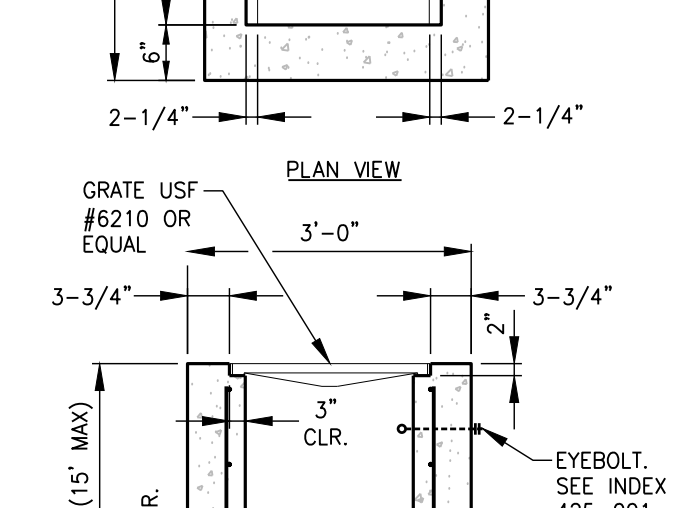
NOTE: IF VALLEY GUTTER IS 8" DEEP WITH 2" VALLEY, THEN WIDTH OF GUTTER MUST BE 4" TO ATTAIN 12:1 SLOPE. IF VALLEY GUTTER IS 7.5" DEEP WITH 1.5" VALLEY, 3" DIMENSION AT HANDICAP RAMP IS SUFFICIENT TO ATTAIN 12:1 SLOPE.



JUNCTION BOX DIMENSIONS	L	W
JB-C	4'-1"	3'-0"
JB-E	5'-6"	4'-0"
JB-4x4	5'-0"	5'-0"

NOTES:

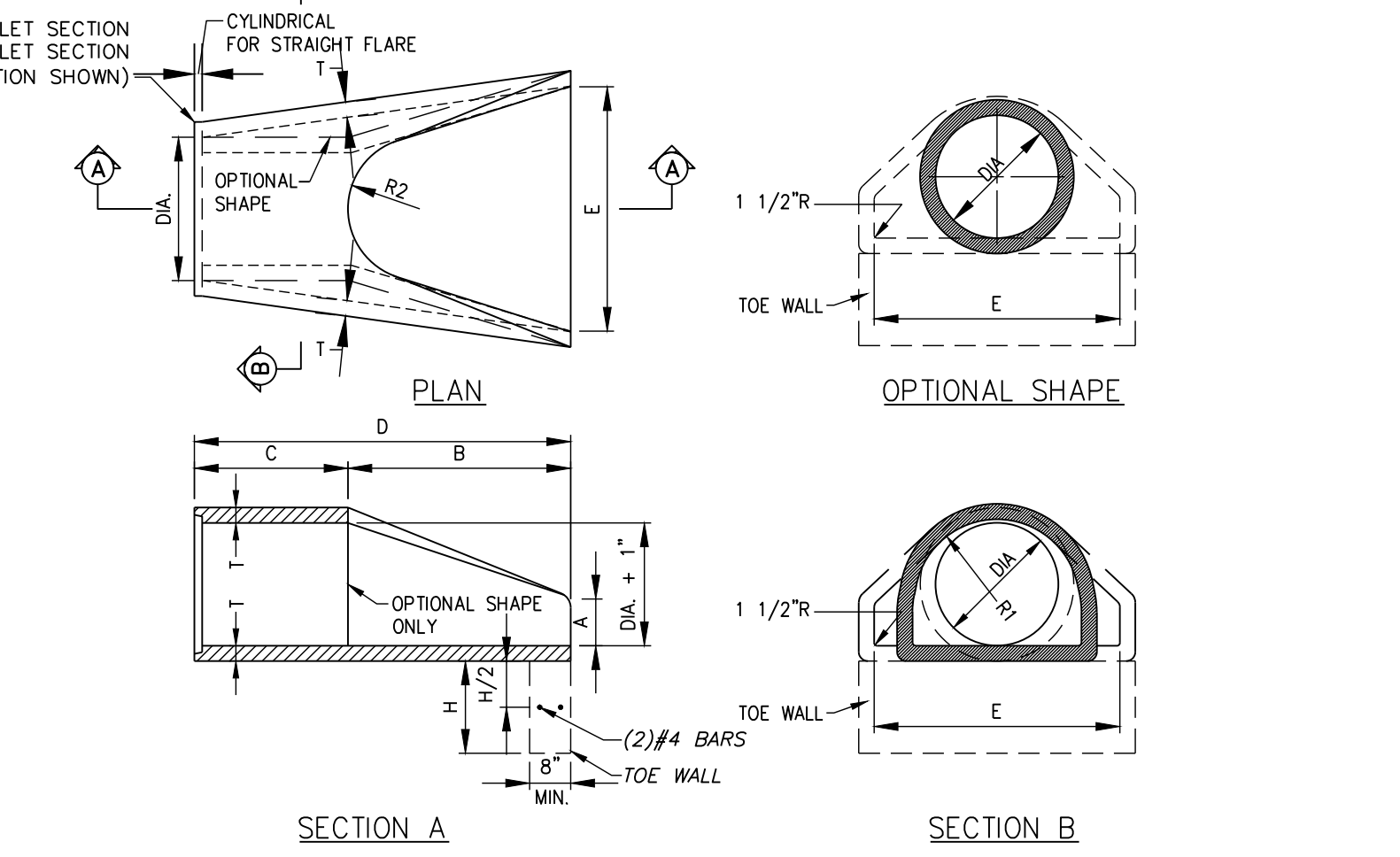
- ALL STRUCTURES SHALL BE PRECAST.
- ALL REINFORCING AND CONCRETE SHALL BE PER FDOT.
- WHERE TOP SLAB CONSTRUCTION IS NECESSARY, USE 8" THICK SLAB W/ #5 BARS AT 4" ON CENTER CONTINUOUS INTO CATCH BASIN WALLS.



BASIN DIMENSIONS	C-I-P	PRECAST
TYPE	L	W
C	4'-6"	3'-4"
D	4'-6"	5'-6"
E	5'-10"	4'-4"

NOTES:

- ALL GRATES IN PAVED AREAS SHALL BE MEDIUM-DUTY W/A 12,000 LB. LOAD CAPACITY. NON-TRAFFIC GRATES SHALL BE LIGHT-DUTY.
- ALL CATCH BASINS TO BE POURED IN PLACE OR PRECAST.
- ALL CONCRETE TO BE 4,000 PSI.
- WHERE TOP SLAB CONSTRUCTION IS NECESSARY, USE 8" THICK SLAB W/ #5 BARS AT 4" ON CENTER CONTINUOUS INTO CATCH BASIN WALLS.
- WHERE "H" DIMENSION EXCEEDS 5 FEET, SHOP DRAWINGS FOR WALL REINFORCEMENT MUST BE SUBMITTED FOR APPROVAL BEFORE CASTING.



DIA	T	REINF. SQ IN/FT	BELL OR SPIGOT	A	B	C	D	E	P	R1	R2	FLAT	WEIGHT (LBS.)	H	TOE WALL CLASS I CONC. (MISC.) CY
18"	2 1/2"	0.07	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	29"	15 1/2"	12"	4"	990	15"	.11

LEGEND

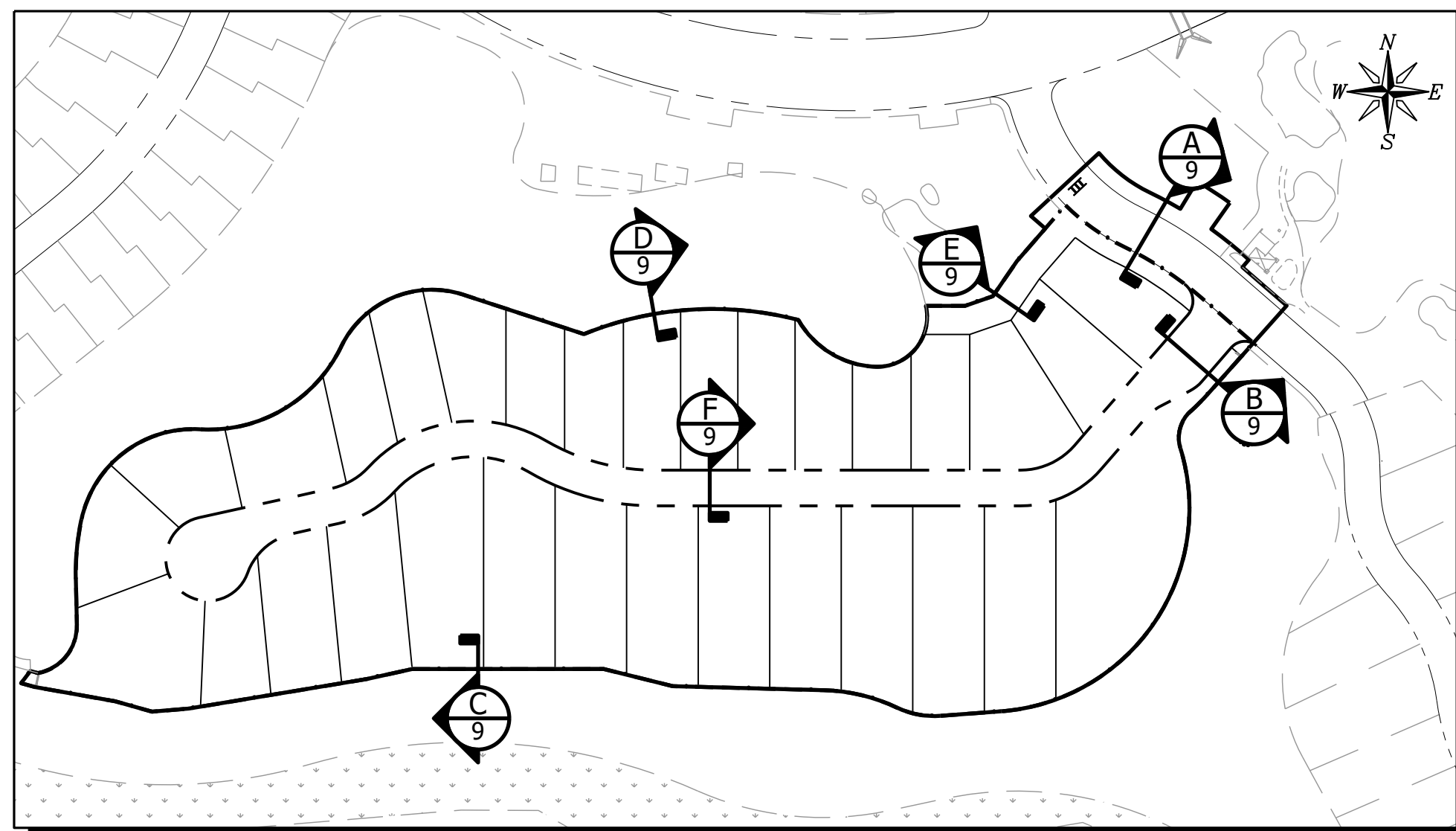
Revision	Date	Description

DESIGNED BY:	J.D.
DRAWN BY:	K.L.M.
APPROVED:	M.W.M.
JOB CODE:	FC6SP
SCALE:	AS SHOWN

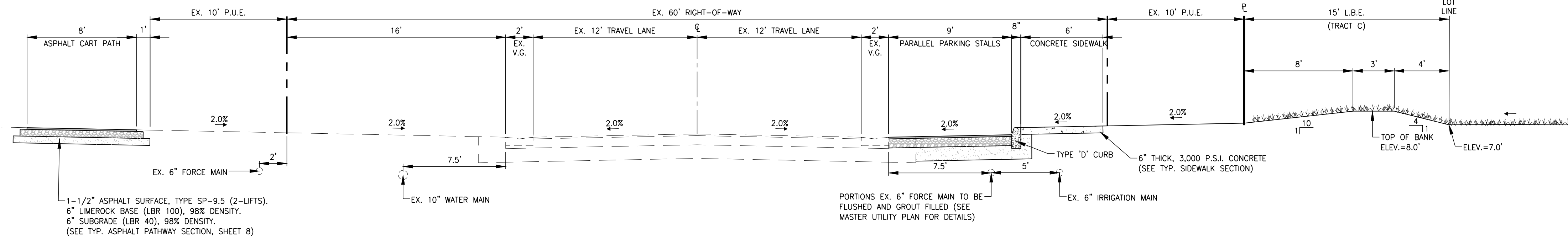
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HIDDEN COVE
GRADING, PAVING AND DRAINAGE
DETAIL SHEET
ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.309

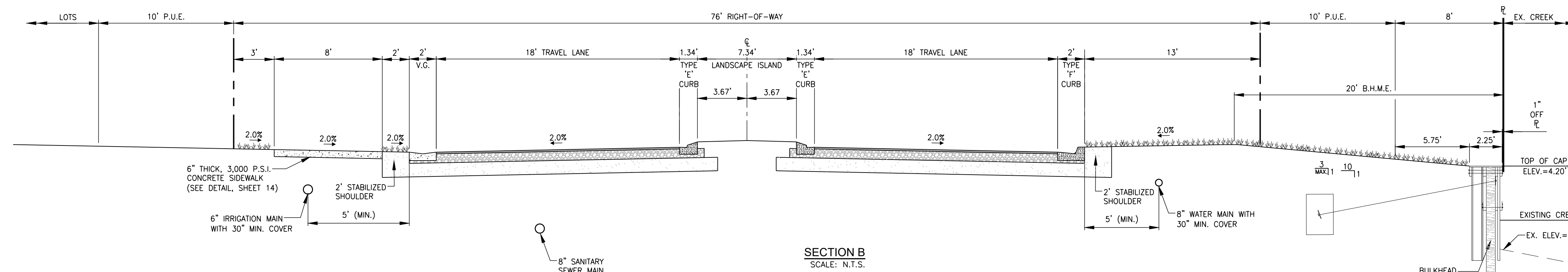
MUNICIPALITY: COLLIER COUNTY
SEC/TWNSHIP/RNG 23/515/26E
DATE: JANUARY 2023
SUBMITTAL TYPE: PPL
MARK W. MINOR, P.E. FLORIDA P.E. LICENSE NO. 45324
SHEET 8 OF 17



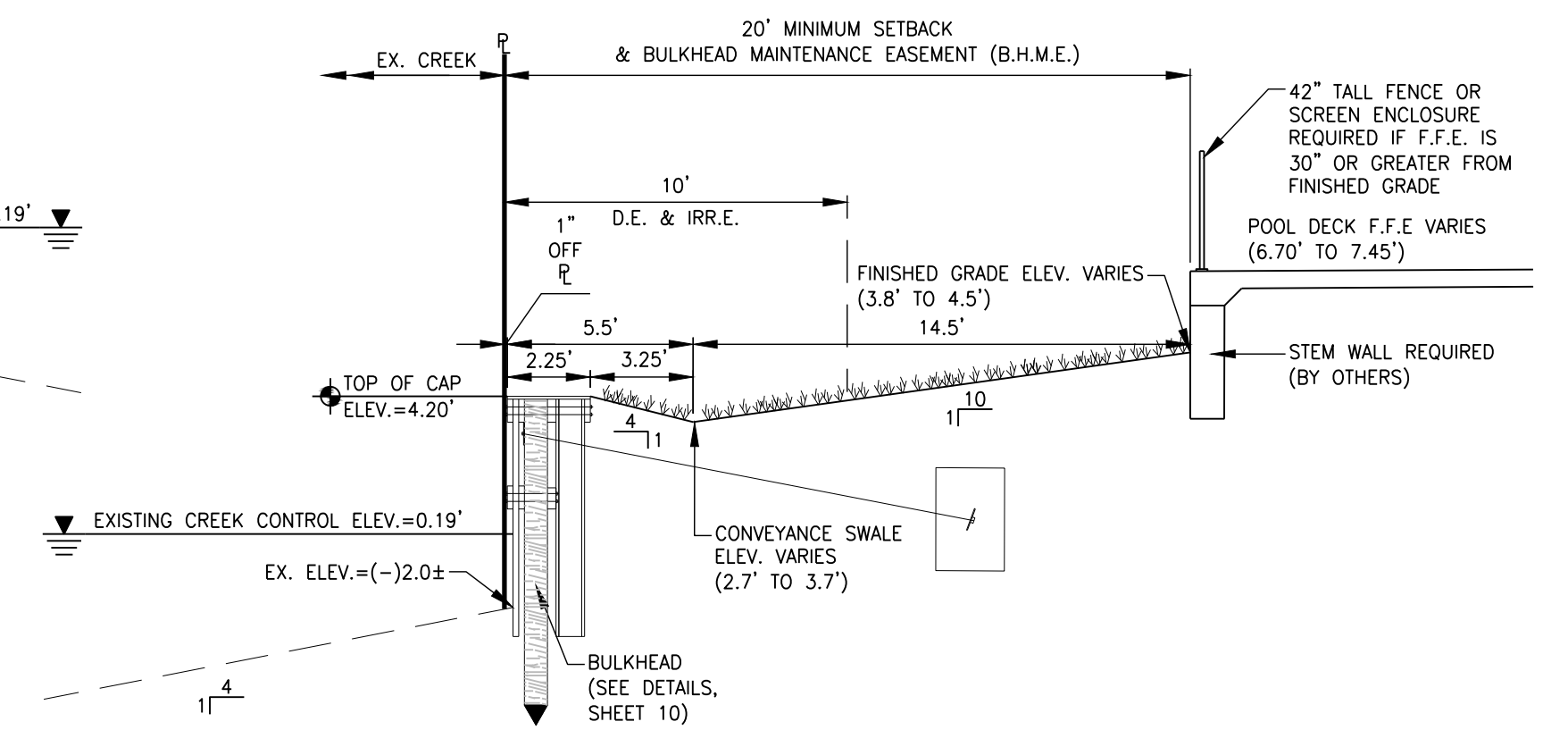
KEY MAP
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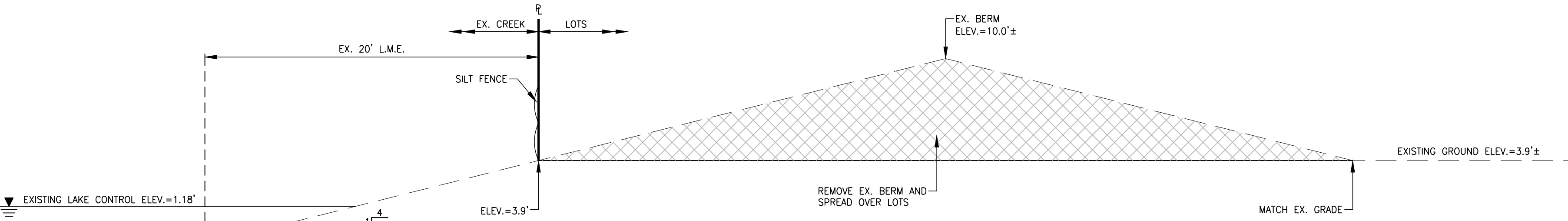
SECTION A
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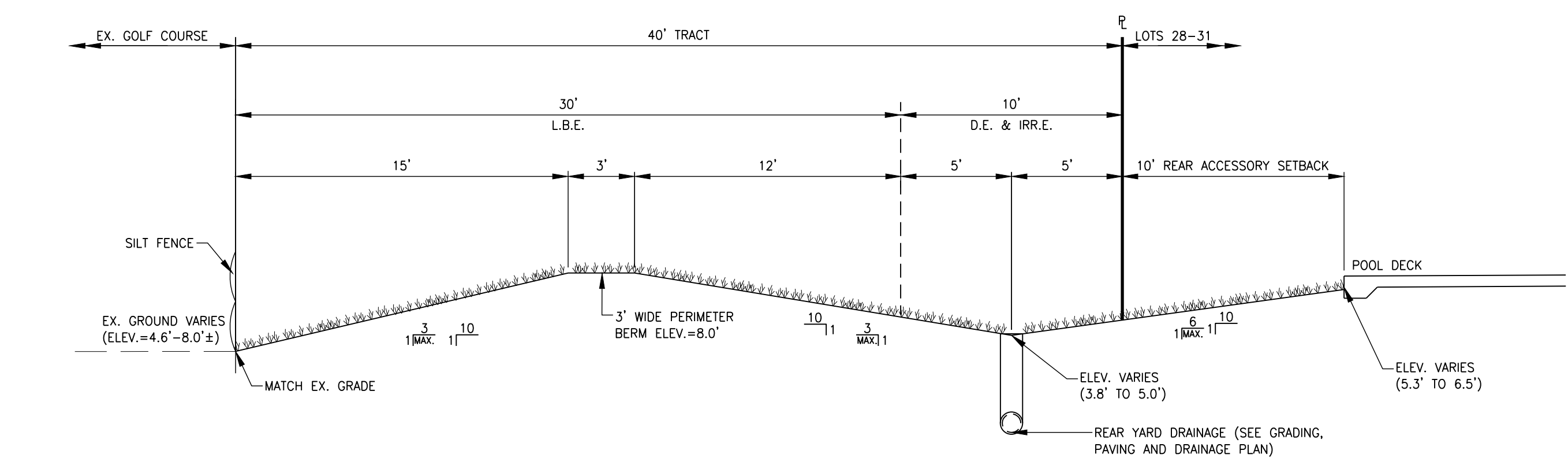
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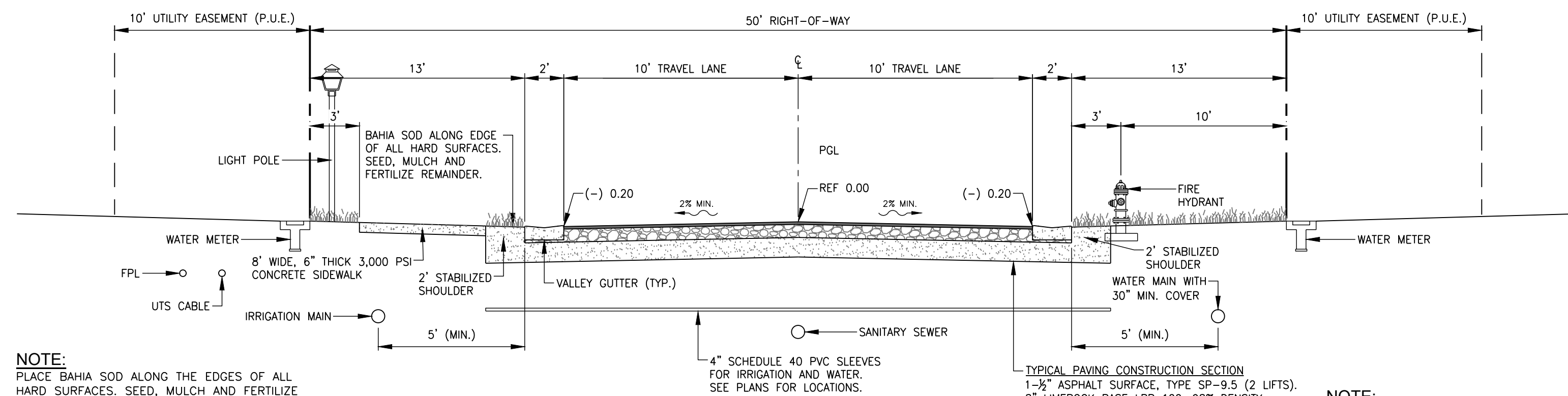
SECTION C
SCALE: N.T.S.



SECTION D
SCALE: N.T.S.



SECTION E
SCALE: N.T.S.



TYPICAL 50' RIGHT OF WAY
SECTION 'E'
PRIVATE LOCAL STREET
N.T.S.

NOTE:
PLACE BAHIA SOD ALONG THE EDGES OF ALL HARD SURFACES. SEED, MULCH AND FERTILIZE REMAINDER OF ALL DISTURBED AREAS.
GREEN AREA GRADING MAY VARY BUT SHALL BE NO LESS THAN THE ELEVATIONS SHOWN AND SLOPES WITHIN THE R.O.W. SHALL NOT EXCEED 6:1

NOTE:
SIDEWALKS ALONG CUL-DE-SAC STREETS ARE NOT REQUIRED BUT MAY BE CONSTRUCTED AT OWNER'S OPTION PER THE PID. THE SIDEWALK MAYBE ON ONE SIDE OR BOTH SIDES.

LEGEND

DESIGNED BY:	J.D.		
DRAWN BY:	K.L.M.		
APPROVED:	M.W.M.		
JOB CODE:	FC6SP		
SCALE:	AS SHOWN		
Revision	Date	Description	By



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HIDDEN COVE

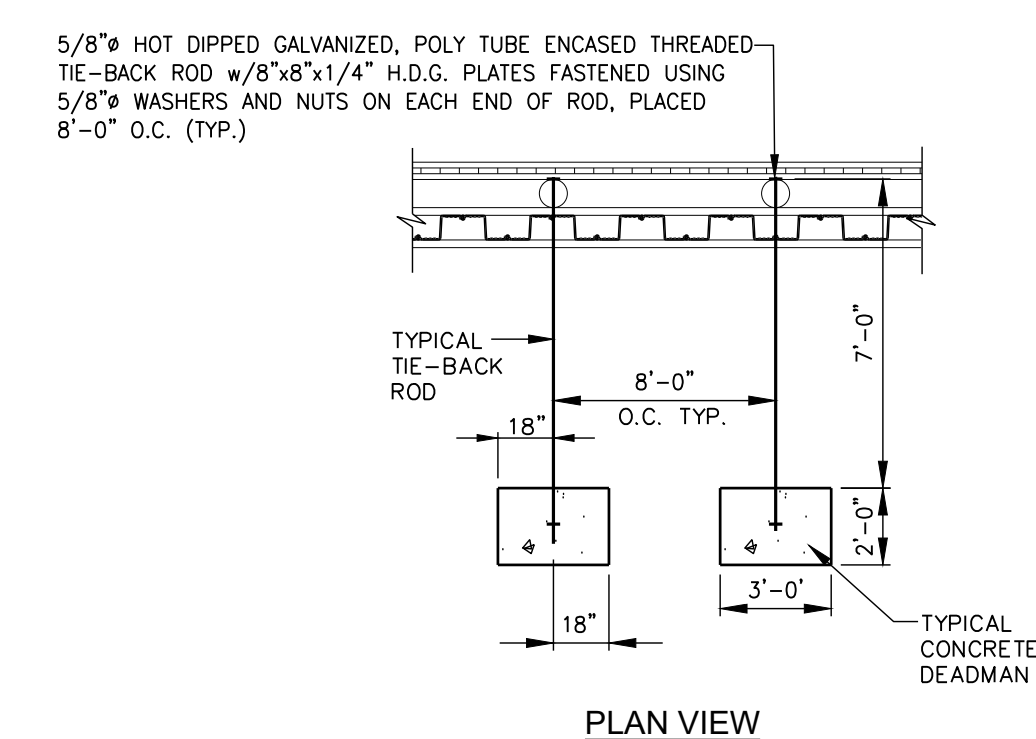
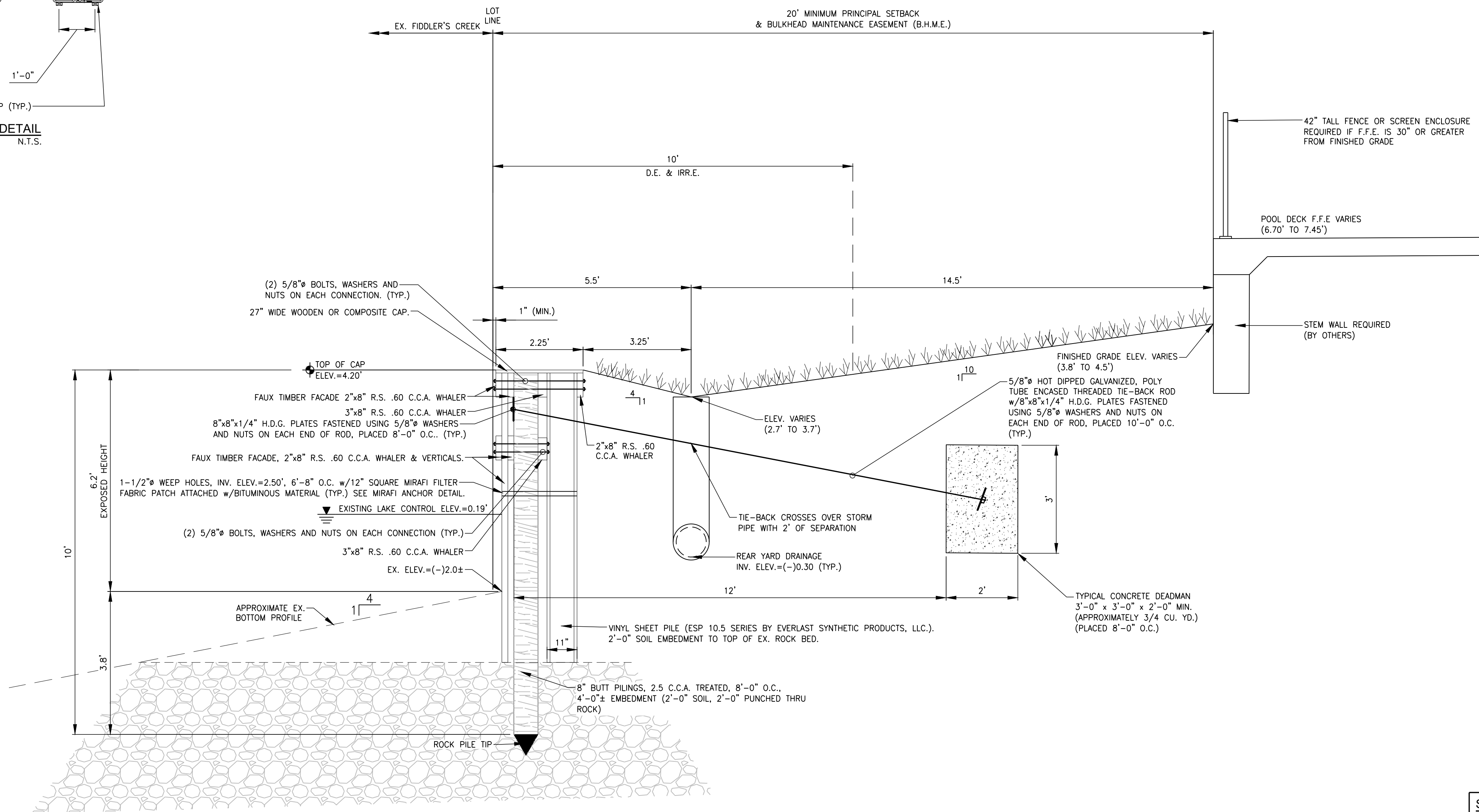
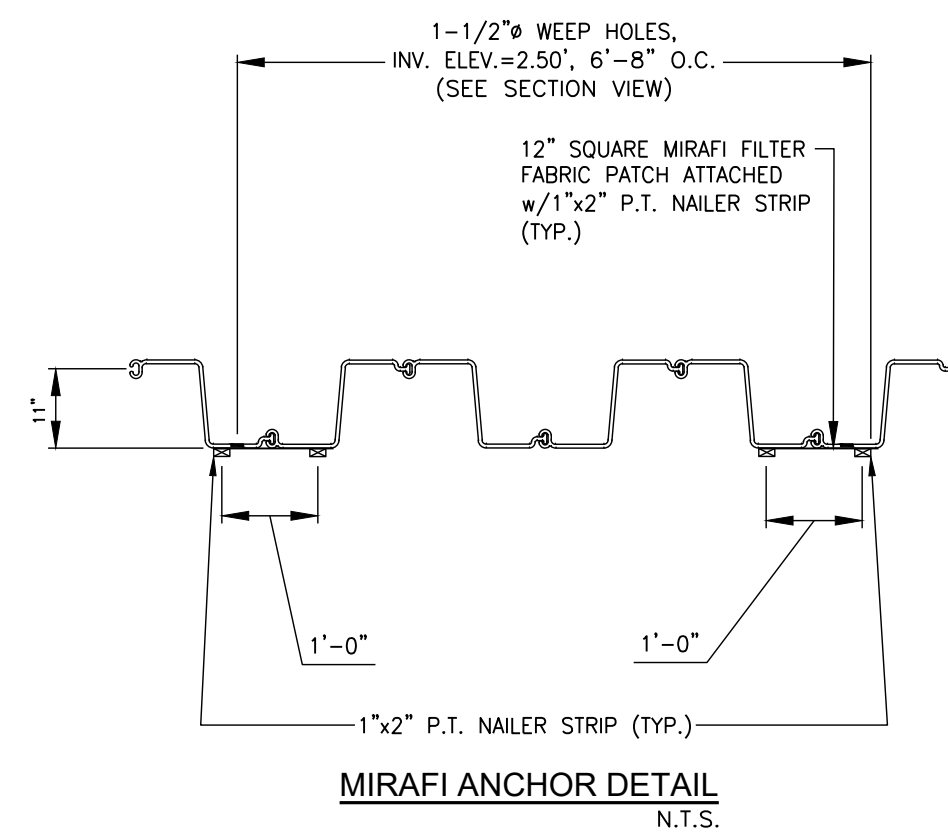
TYPICAL CROSS-SECTIONS

ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
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SEC./TOWNSHIP/RNG
23/515/26E
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SUBMITTAL TYPE:
PPL
SHEET 9 OF 17

C:\ENGINEERING\PROJ-ENG\FC6SP\01\DWGS\SUBMITTAL\TYPE\PL\LEGEND-SITE.DWG 8/17/2023 10:10 AM



- STRUCTURAL NOTES**
1. THE AREA UNDER THE FOUNDATION AND 5' BEYOND SHALL BE EXISTING GROUND FREE OF ALL ORGANIC MATERIAL AND HAVING A MINIMUM BEARING CAPACITY OF 2,000 PSF OR STRUCTURAL FILL COMPACTED TO 95% OF ITS MODIFIED PROCTOR DENSITY.
 2. ALL METAL TO BE STAINLESS STEEL (S.S.) UNLESS OTHERWISE NOTED.
 3. TIMBER TO BE FASTENED WITH 5/8" DIAMETER S.S. BOLTS THROUGH WHALERS.
 4. NAIL VERTICALS TO WHALERS WITH 16d COMMON H.D.G. NAILS.
 5. ALL TIMBER TO BE .06 C.C.A. R.S. SIP.
 6. CAP TO BE FASTENED TO WHALERS WITH (3)-3" STAINLESS STEEL #10 SCREWS.
 7. TIE-BACK ROD MUST BE LAID TO GRADE. THERE SHALL BE NO SLACK OR BENDS IN ROD WHEN DEADMAN ARE POURED.
 8. 1-1/2" WEEP HOLES WITH 12" SQUARE MIRAFI FILTER FABRIC PATCH, ATTACHED WITH BITUMINOUS MATERIAL, 6'-8" O.C., AT 16" ABOVE CONTROL ELEVATION (MIN.).
 9. THE STANDARD SPECIFICATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL CONSTRUCTION, INCLUDING MATERIALS AND WORKMANSHIP, WHERE APPLICABLE.
 10. THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE FOR AN ULTIMATE WIND SPEED OF 150 MPH WIND LOADS AND A NOMINAL WIND SPEED OF 116 MPH. RISK CATEGORY I STRUCTURE, WITH A SURFACE ROUGHNESS 'B' AND WIND EXPOSURE CATEGORY 'C'.
 11. NO SUB-SURFACE INVESTIGATION WAS PERFORMED. WALL DESIGN WAS BASED ON DENSE SANDY SOIL. CONTRACTOR TO VERIFY SUB-SURFACE CONDITIONS PRIOR TO CONSTRUCTION.
 12. CERTIFICATE FOR STRUCTURAL ASPECTS. NO REVIEW OF LIFE SAFETY ASPECT MADE.

LEGEND

Revision	Date	Description

DESIGNED BY:	J.D.
DRAWN BY:	K.L.M.
APPROVED:	M.W.M.
JOB CODE:	FC6SP
SCALE:	AS SHOWN

GradyMinor
 Civil Engineers • Land Surveyors • Planners • Landscape Architects
 0. Grady Minor and Associates, P.A.
 3800 Via Del Rey
 Bonita Springs, Florida 34134
 Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151
 Business LC 26000266
 Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380

HIDDEN COVE
 BULKHEAD DETAILS AND NOTES
 ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
 CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.309

MUNICIPALITY:
 COLLIER COUNTY
 SEC./TOWNSHIP/RNG
 23/515/26E
 DATE:
 JANUARY 2023
 SUBMITTAL TYPE:
 PPL
 SHEET 10 OF 17

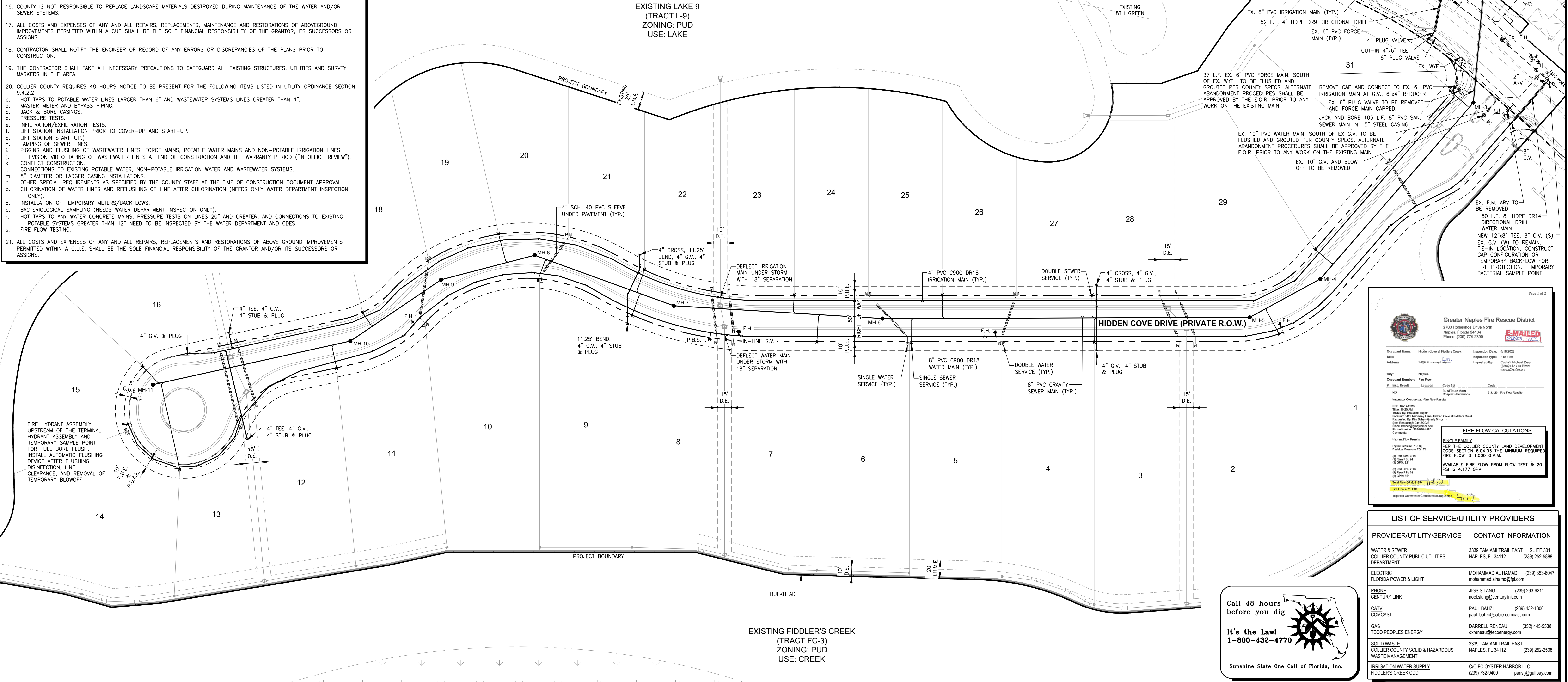
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- UTILITY NOTES:**
- DO NOT TIE WATER MAINS IN UNTIL LINES HAVE BEEN CLEARED.
 - USE OF GAP CONFIGURATION OR TEMPORARY BACKFLOW ASSEMBLY AT THE OPTION OF THE FIRE DISTRICT.
 - THE WATER DISTRIBUTION SYSTEM SHALL BE OWNED & MAINTAINED BY COLLIER COUNTY PUBLIC UTILITIES.
 - THE SANITARY SEWER SYSTEM SHALL BE OWNED & MAINTAINED BY COLLIER COUNTY PUBLIC UTILITIES. (EXCEPT AS NOTED)
 - THE IRRIGATION SYSTEM SHALL BE OWNED & MAINTAINED BY THE DEVELOPER OR HIS ASSIGNS. IRRIGATION SUPPLY WILL BE FROM A PRIVATE IRRIGATION SYSTEM.
 - ALL GRAVITY SEWER PIPES SHALL BE PVC (ASTM 3034) SDR 26.
 - SANITARY LATERALS ARE 6" DIAMETER AT 1.04% MINIMUM SLOPE. CONTRACTOR SHALL INSTALL ELECTRONIC BALL MARKERS AT ALL SEWER CLEAN-OUTS 24 INCHES BELOW FINAL GRADE.
 - WATER MAINS SHALL BE PVC (AWWA C-900) DR-18, EXCEPT DR-14 SHALL BE USED UNDER PAVEMENT & 5' BOTH SIDES.
 - ALL WATER SERVICE SLEEVES SHALL BE 4" PVC (SCH 40) W/24" COVER BASED ON FINISH GRADE. (SEE DETAIL).
 - FORCE MAINS 4" AND LARGER SHALL BE PVC (AWWA C-900) DR-18, EXCEPT DR-14 SHALL BE USED UNDER PAVEMENT & 5' BOTH SIDES.
 - HORIZONTAL AND VERTICAL DEFLECTION OF THE PRESSURE MAINS SHALL NOT EXCEED THE PIPE MANUFACTURERS SPECIFICATIONS & SHALL NOT EXCEED 80% OF THE MAXIMUM DEFLECTION LIMITS SHOWN IN AWWA C600. BENDS SHALL BE USED WHERE DEFLECTIONS EXCEED THE MANUFACTURERS SPECIFICATIONS.
 - CONTRACTOR SHALL INSTALL ELECTRONIC BALL MARKERS EVERY 250 L.F. & AT ALL BENDS OR CHANGES IN ALIGNMENT, AT A DEPTH OF TWENTY FOUR INCHES (24") BELOW FINAL GRADE. CONTRACTOR TO INSTALL MARKING TAPE ABOVE D.I.P. & P.V.C. MAINS (EXCEPT GRAVITY SEWER LINES) FOR ENTIRE LENGTH, 2 FT. BELOW GRADE OR ONE-HALF THE PIPE'S BURIAL, WHICHEVER IS LESS. (AT MIN. COVER OF 30 INCHES, THE DEPTH OF THE TAPE SHOULD BE ONLY 15 INCHES).
 - ALL CONDUITS FOR OTHER UTILITIES SHALL BE SEPARATED FROM POTABLE WATER, FORCE MAINS & SANITARY SEWER, BY A MIN. CLEAR VERTICAL DISTANCE OF 18" & HORIZONTAL DISTANCE OF 5'.
 - FIRE HYDRANT SHOWN HERON SHALL BE TEMPORARY BACTERIAL SAMPLING POINTS.
 - THE WATER METER SHALL BE SIZED BY COLLIER COUNTY PUBLIC UTILITIES. THE WATER MAIN TAP, SLEEVE, POLYUBING, METER BOX ETC. SHALL BE CONSTRUCTED BY THE SITE CONTRACTOR AT TIME OF WATER MAIN INSTALLATION. FOR WATER METERS 2-INCH AND SMALLER, COLLIER COUNTY PUBLIC UTILITIES SHALL SIZE AND INSTALL. FOR WATER METERS 3-INCH AND LARGER, THE CONTRACTOR SHALL INSTALL THE METER AND BACKFLOW PREVENTION DEVICE.
 - COUNTY IS NOT RESPONSIBLE TO REPLACE LANDSCAPE MATERIALS DESTROYED DURING MAINTENANCE OF THE WATER AND/OR SEWER SYSTEMS.
 - ALL COSTS AND EXPENSES OF ANY AND ALL REPAIRS, REPLACEMENTS, MAINTENANCE AND RESTORATIONS OF ABOVEGROUND IMPROVEMENTS PERMITTED WITHIN A C.U.E. SHALL BE THE SOLE FINANCIAL RESPONSIBILITY OF THE GRANTOR, ITS SUCCESSORS OR ASSIGNS.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY ERRORS OR DISCREPANCIES OF THE PLANS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES AND SURVEY MARKERS IN THE AREA.
 - COLLIER COUNTY REQUIRES 48 HOURS NOTICE TO BE PRESENT FOR THE FOLLOWING ITEMS LISTED IN UTILITY ORDINANCE SECTION 9.4.2.2:
 - HOT TAPS TO POTABLE WATER LINES LARGER THAN 6" AND WASTEWATER SYSTEMS LINES GREATER THAN 4".
 - MASTER METER AND BYPASS PIPING.
 - JACK & BORE CASINGS.
 - PRESSURE TESTS.
 - INFILTRATION/EXFILTRATION TESTS.
 - LIFT STATION INSTALLATION PRIOR TO COVER-UP AND START-UP.
 - LIFT STATION START-UP.
 - LAMPING OF SEWER LINES.
 - PIPING AND FLUSHING OF WASTEWATER LINES, FORCE MAINS, POTABLE WATER MAINS AND NON-POTABLE IRRIGATION LINES.
 - TELEVISION VIDEO TAPING OF WASTEWATER LINES AT END OF CONSTRUCTION AND THE WARRANTY PERIOD ("IN OFFICE REVIEW").
 - CONFLICT CONSTRUCTION.
 - CONNECTIONS TO EXISTING POTABLE WATER, NON-POTABLE IRRIGATION WATER AND WASTEWATER SYSTEMS.
 - 8" DIAMETER OR LARGER CASING INSTALLATIONS.
 - OTHER SPECIAL REQUIREMENTS AS SPECIFIED BY THE COUNTY STAFF AT THE TIME OF CONSTRUCTION DOCUMENT APPROVAL.
 - CHLORINATION OF WATER LINES AND REFRESHING OF LINE AFTER CHLORINATION (NEEDS ONLY WATER DEPARTMENT INSPECTION ONLY).
 - INSTALLATION OF TEMPORARY METERS/BACKFLOWS.
 - BACTERIOLOGICAL SAMPLING (NEEDS WATER DEPARTMENT INSPECTION ONLY).
 - HOT TAPS TO ANY WATER CONCRETE MAINS, PRESSURE TESTS ON LINES 20" AND GREATER, AND CONNECTIONS TO EXISTING POTABLE SYSTEMS GREATER THAN 12" NEED TO BE INSPECTED BY THE WATER DEPARTMENT AND CDES.
 - FIRE FLOW TESTING.
 - ALL COSTS AND EXPENSES OF ANY AND ALL REPAIRS, REPLACEMENTS AND RESTORATIONS OF ABOVE GROUND IMPROVEMENTS PERMITTED WITHIN A C.U.E. SHALL BE THE SOLE FINANCIAL RESPONSIBILITY OF THE GRANTOR AND/OR ITS SUCCESSORS OR ASSIGNS.

- FIRE HYDRANT NOTES**
- FIRE PROTECTION WATER SUPPLY, INCLUDING FIRE HYDRANTS, SHALL BE INSTALLED AND IN SERVICE PRIOR TO PLACING COMBUSTIBLE MATERIALS ON SITE.
 - FIRE HYDRANTS SHALL BE MARKED IN A UNIFORM MANNER (NFPS 291)
 - FIRE HYDRANTS SHALL NOT BE OBSTRUCTED VISUALLY OR FUNCTIONALLY BY VEGETATION. AN AREA OF 3 FEET ON BOTH SIDES, TO THE REAR AND CLEAR TO THE STREET SHALL BE MAINTAINED.
 - FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 3 FEET FROM BACK OF CURB.
 - CENTER OF FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 2 FEET FROM EDGE OF SIDEWALK.
 - AFTER INSTALLATION OF TERMINAL FIRE HYDRANTS AT END OF CUL-DE-SACS (1) LOCATION) TEMPORARY BLOWOFF ASSEMBLY WITH TEMPORARY SAMPLE POINT FOR FULL BORE FLUSHING, AUTOMATIC FLUSHING DEVICE SHALL BE INSTALLED AFTER FLUSHING, DISINFECTION, LINE CLEARANCE AND REMOVAL OF TEMPORARY BLOWOFF.

FIRE HYDRANT LOCATIONS		STATIONING	
8" PVC WATER MAIN (AWWA C-900, CL250)	1,760 L.F.	4+74	
4" PVC IRRIGATION MAIN (AWWA C-900, CL235)	1,762 L.F.	7+78	
FIRE HYDRANTS	5	10+55	
WATER SERVICES	31	14+50	
8" PVC GRAVITY SEWER @ 0.4% SLOPE	1,744 L.F.	17+72	
# OF MANHOLES	11		
8" PVC FORCE MAIN (AWWA C-900, CL 235)	93 L.F.		

NOTE: FIRE HYDRANTS SHALL BE USED AS T.B.S.P.'S



Greater Naples Fire Rescue District
 2700 Horseshoe Drive North
 Naples, Florida 34104
 Phone: (239) 774-2800

EM-MAILED
 4/28/23 10:11 AM

Occupant Name: Hidden Cove of Fiddlers Creek
 Address: 3423 Phoenician Lane
 City: Naples
 State: FL
 Zip: 34104

Inspection Date: 4/18/2023
 Inspector: Mike Flanagan
 Inspection Type: Fire Flow
 Fire Flow Results: 4.177 GPM

FIRE FLOW CALCULATIONS

SINGLE FAMILY
 PER THE COLLIER COUNTY LAND DEVELOPMENT CODE SECTION 6.04.03 THE MINIMUM REQUIRED FIRE FLOW IS 1,000 G.P.M.
 AVAILABLE FIRE FLOW FROM FLOW TEST @ 20 PSI IS 4,177 GPM

Total Fire Flow: 4.177 GPM
 Fire Flow at 20 PSI: 4.177

Inspector Comments: Computed as per code

LIST OF SERVICE/UTILITY PROVIDERS	
PROVIDER/UTILITY/SERVICE	CONTACT INFORMATION
WATER & SEWER COLLIER COUNTY PUBLIC UTILITIES DEPARTMENT	3339 TAMAMI TRAIL EAST SUITE 301 NAPLES, FL 34112 (239) 252-5888
ELECTRIC FLORIDA POWER & LIGHT	MOHAMMAD AL HAMAD (239) 353-6047 mohammad.ahamad@fl.com
PHONE CENTURY LINK	JIGS SILANG (239) 263-6211 noel.silang@centurylink.com
CATV COMCAST	PAUL BAHZ (239) 432-1806 paul_bahz@comcast.com
GAS TECO PEOPLES ENERGY	DARRELL RENEAU (352) 445-5538 dreneau@tecoenergy.com
SOLID WASTE COLLIER COUNTY SOLID & HAZARDOUS WASTE MANAGEMENT	3339 TAMAMI TRAIL EAST NAPLES, FL 34112 (239) 252-2508
IRRIGATION WATER SUPPLY FIDDLERS CREEK CDD	CO FO OYSTER HARBOR LLC (239) 732-8400 perry@oysterbay.com

LEGEND

SYMBOL	DESCRIPTION
B.H.M.E.	BULKHEAD MAINTENANCE EASEMENT
C.U.E.	COUNTY UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
ELEV.	ELEVATION
E.O.R.	ENGINEER OF RECORD
EX	EXISTING
F.H.	FIRE HYDRANT
G.V.	GATE VALVE
L.B.E.	LANDSCAPE BUFFER EASEMENT
L.F.	LINEAR FEET
P.B.S.P.	PERMANENT BACTERIAL SAMPLE POINT
P.U.A.E.	PUBLIC UTILITY ACCESS EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
T.B.S.P.	TEMPORARY BACTERIAL SAMPLE POINT
EX	EXISTING ELECTRICAL STRUCTURE
⊙	SAN SEWER MANHOLE
⊙	SAN SEWER SERVICE W/CO
⊙	SAN CLEANOUT
⊙	SAN PLUG VALVE
⊙	IRRIGATION CONTROL VALVE
⊙	WATER SERVICE METER
⊙	FIRE HYDRANT ASSEMBLY W/ G.V.
⊙	GATE VALVE W/ VALVE BOX

Revision	Date	Description	By

DESIGNED BY: J.D.
 DRAWN BY: K.L.M.
 APPROVED: M.W.M.
 JOB CODE: FC6SP
 SCALE: 1" = 50'

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 Fort Myers: 239.690.4380
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HIDDEN COVE
 MASTER UTILITY PLAN

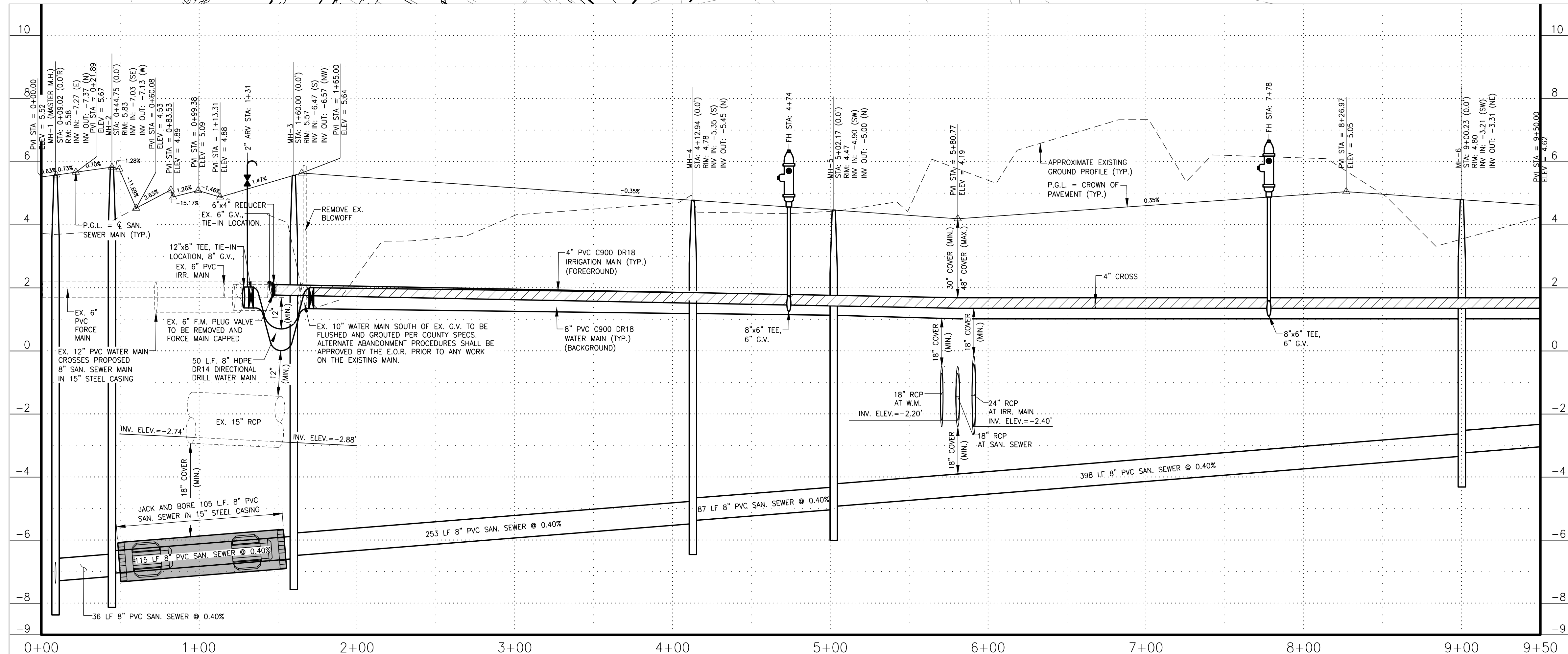
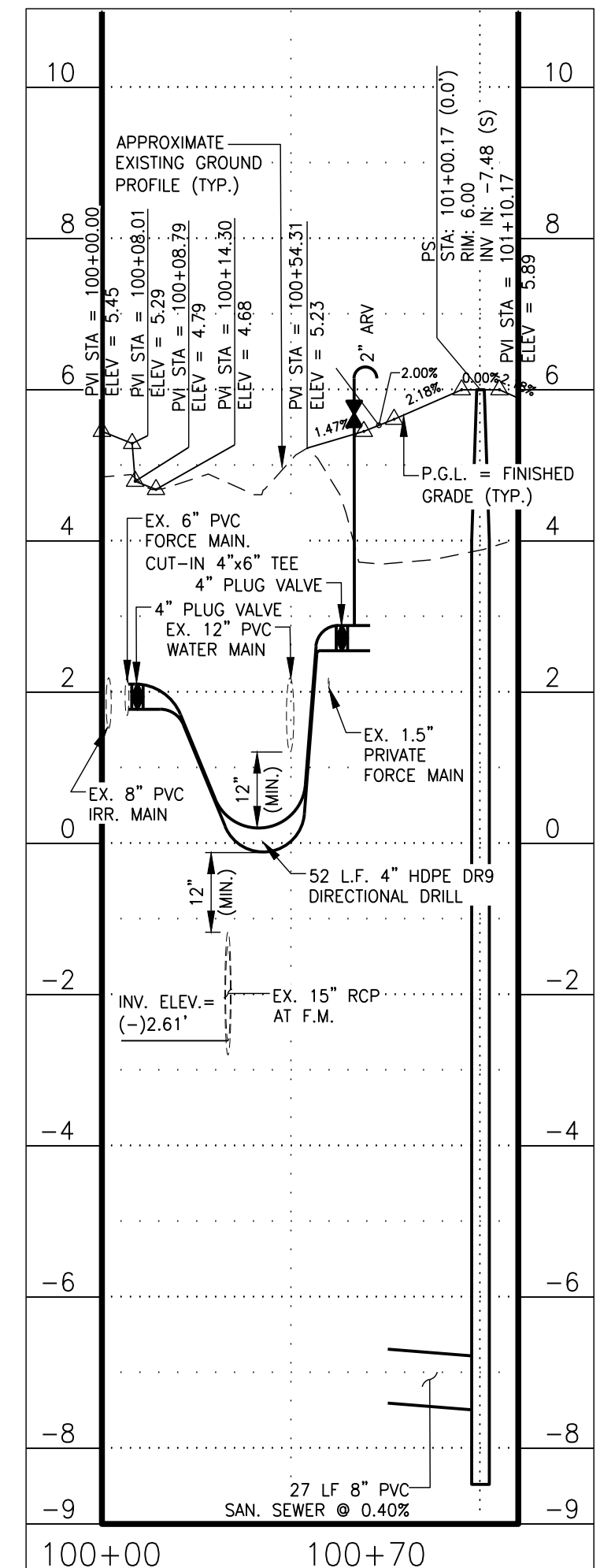
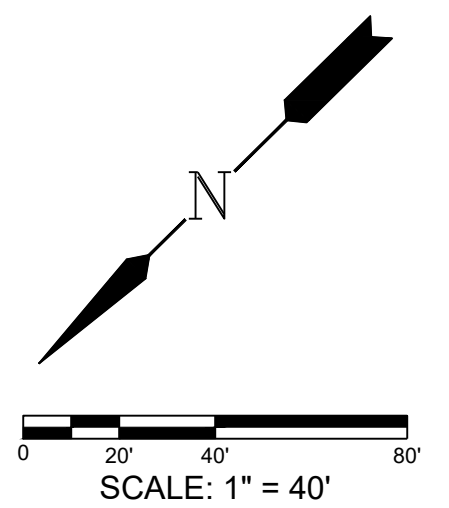
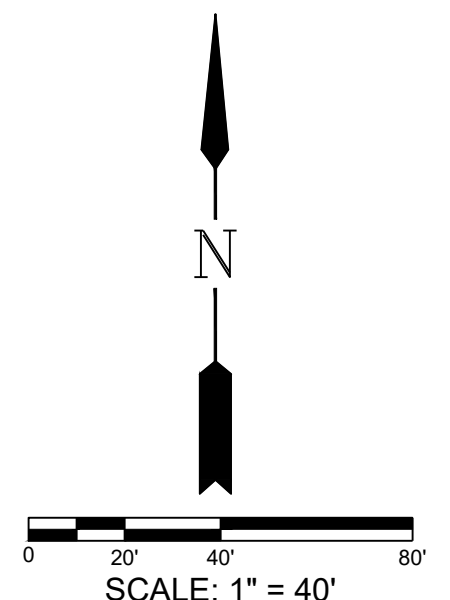
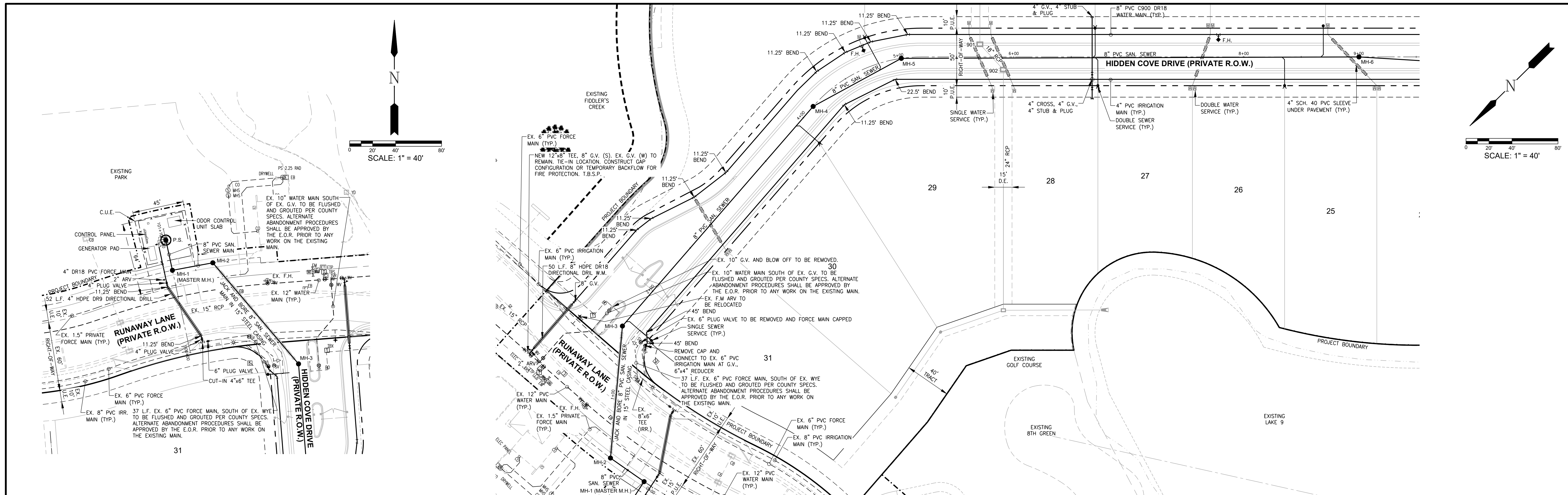
ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
 CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+) 1.309

MUNICIPALITY: COLLIER COUNTY
SEC/TOWNSHIP/RNG: 23/515/26E
DATE: JANUARY 2023
SUBMITAL TYPE: PPL
SHEET 11 OF 17

MARK W. MINOR, P.E.
 FLORIDA P.E. LICENSE NO. 45324

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LEGEND

D.E.	DRAINAGE EASEMENT	EX. PROP.	EXISTING ELECTRICAL STRUCTURE	EX. PROP.	DESCRIPTION
EX.	EXISTING	⊙	LIGHT POLE	⊙	FIRE HYDRANT ASSEMBLY w/ WY
G.V.	GATE VALVE	⊙	SAN SEWER MANHOLE	⊙	GATE VALVE w/ VALVE BOX
F.H.	FIRE HYDRANT	⊙	SAN SEWER SERVICE w/ CO		
L.B.E.	LANDSCAPE BUFFER EASEMENT	⊙	SAN CLEANOUT		
P.S.	PUMP STATION	⊙	SAN PLUG VALVE		
TYP.	TYPICAL	⊙	IRRIGATION CONTROL VALVE		
		⊙	WATER SERVICE w/ METER		
		⊙	4" PVC C900 DR18 IRRIGATION MAIN		
		⊙	JACK AND BORE		

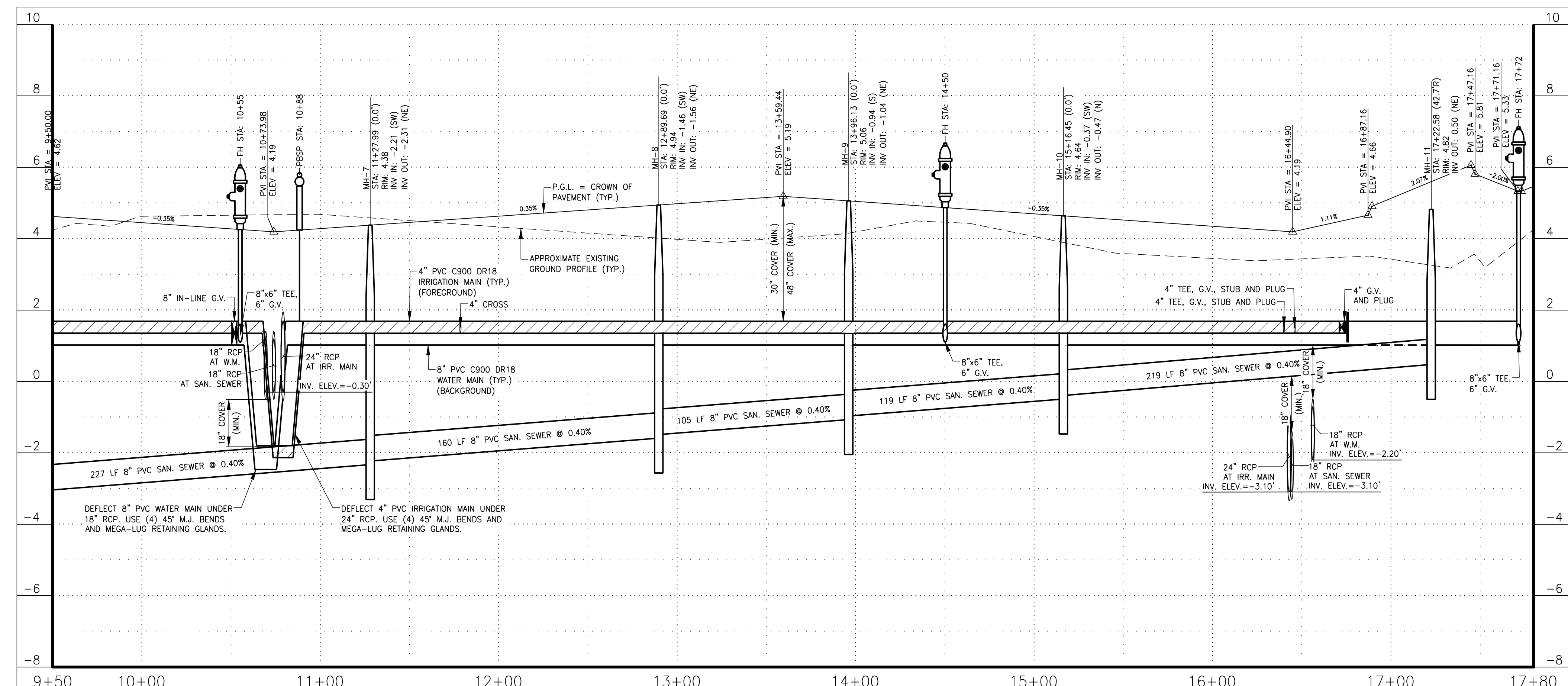
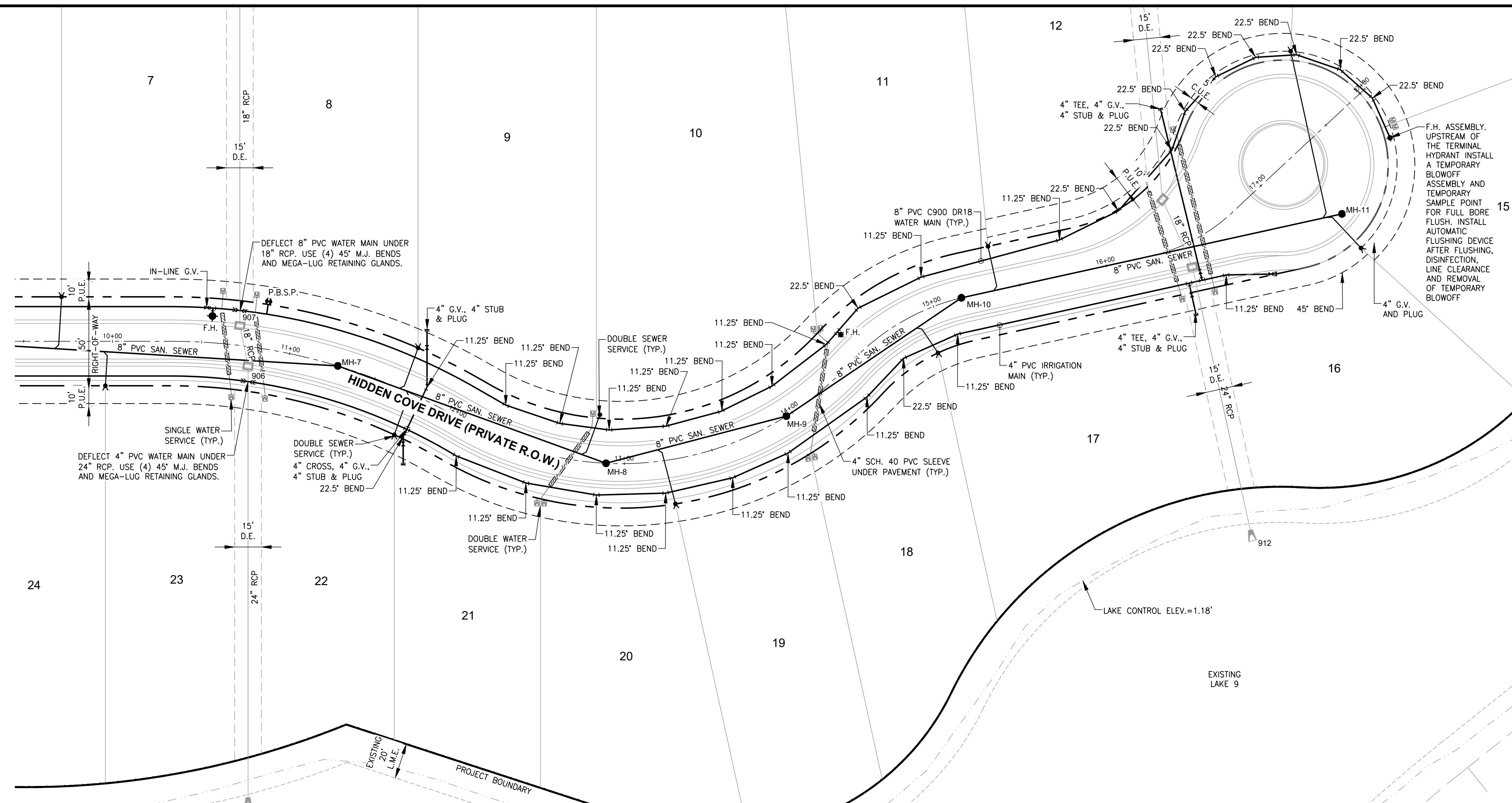
DESIGNED BY:	J.D.	
DRAWN BY:	K.L.M.	
APPROVED:	M.W.M.	
JOB CODE:	FC6SP	
SCALE: VERT. 1" = 2'		
HORIZ. 1" = 40'		
Revision	Date	Description

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HIDDEN COVE
 PLAN AND PROFILE - PUMP STATION AND
 HIDDEN COVE DRIVE STA. 0+00 - 9+50
 ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
 CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.309

MUNICIPALITY: COLLIER COUNTY
 SEC./TOWNSHIP/RNG 23/515/26E
 DATE: JANUARY 2023
 SUBMITTAL TYPE: PPL
 SHEET 12 OF 17
 MARK W. MINOR, P.E.
 FLORIDA P.E. LICENSE NO. 45324

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LEGEND

EX. DRAINAGE EASEMENT	PROP. ELECTRICAL STRUCTURE	EX. PROP. FIRE HYDRANT ASSEMBLY w/ WY
EX. EXISTING	PROP. LIGHT POLE	EX. PROP. GATE VALVE w/ VALVE BOX
G.V. GATE VALVE	SAN. SEWER MANHOLE	
F.H. FIRE HYDRANT	SAN. SEWER SERVICE w/ CO	
L.B.E. LANDSCAPE BUFFER EASEMENT	SAN. CLEANOUT	
P.B.S.P. PERMANENT BACTERIAL SAMPLE POINT	SAN. PLUG VALVE	
TYP. TYPICAL	IRRIGATION CONTROL VALVE	
	WATER SERVICE METER	
	4" PVC C900 DR18 IRRIGATION MAIN	

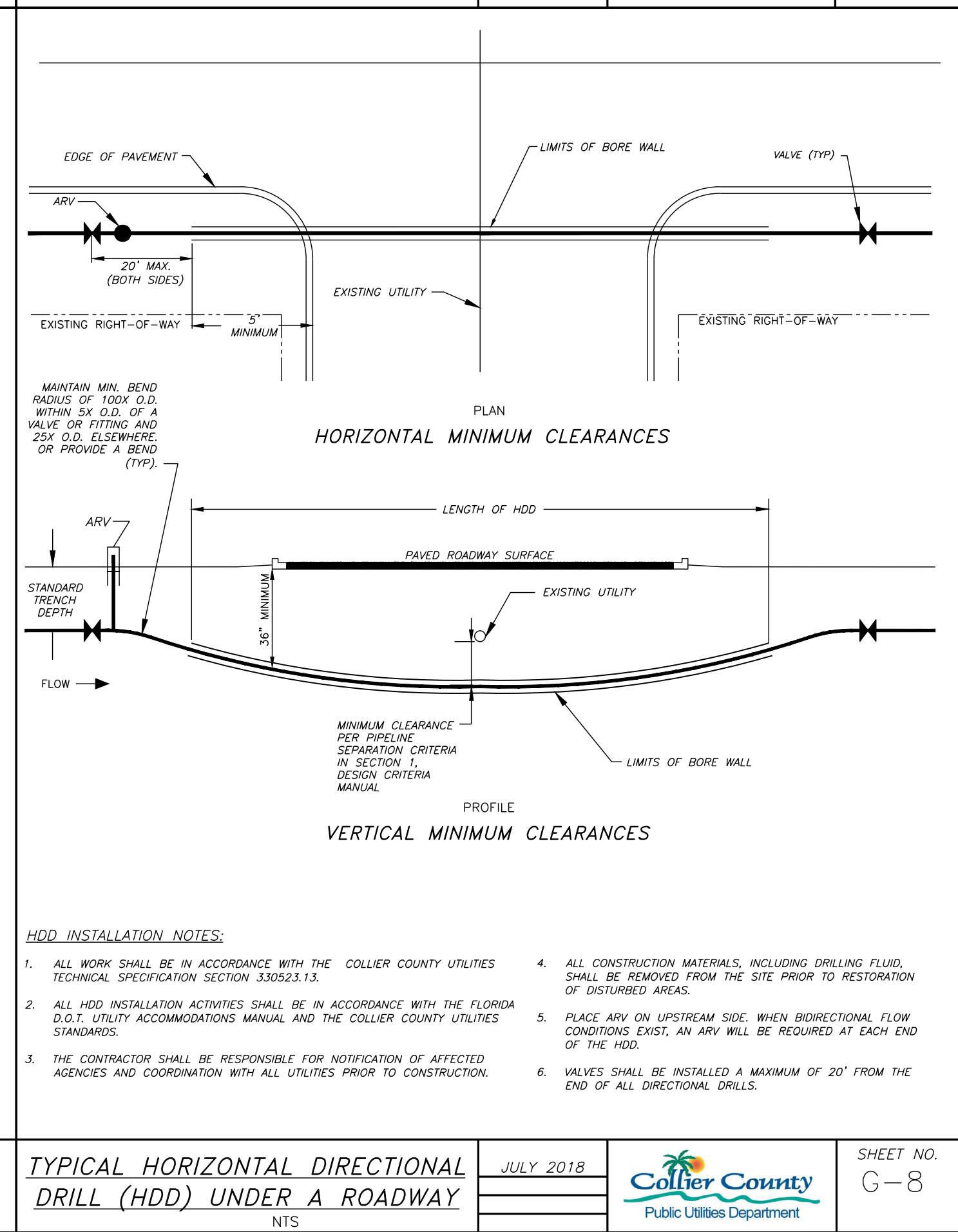
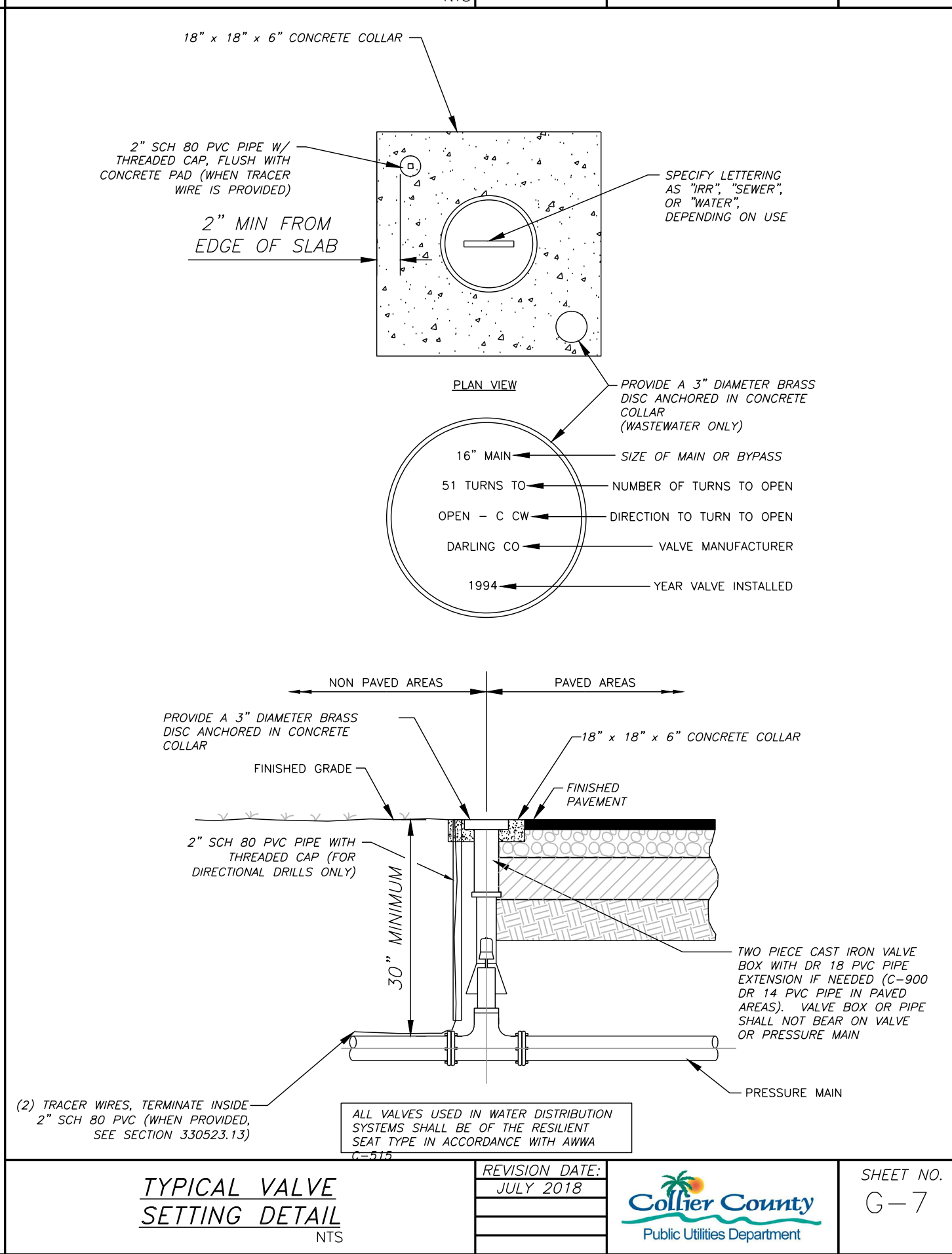
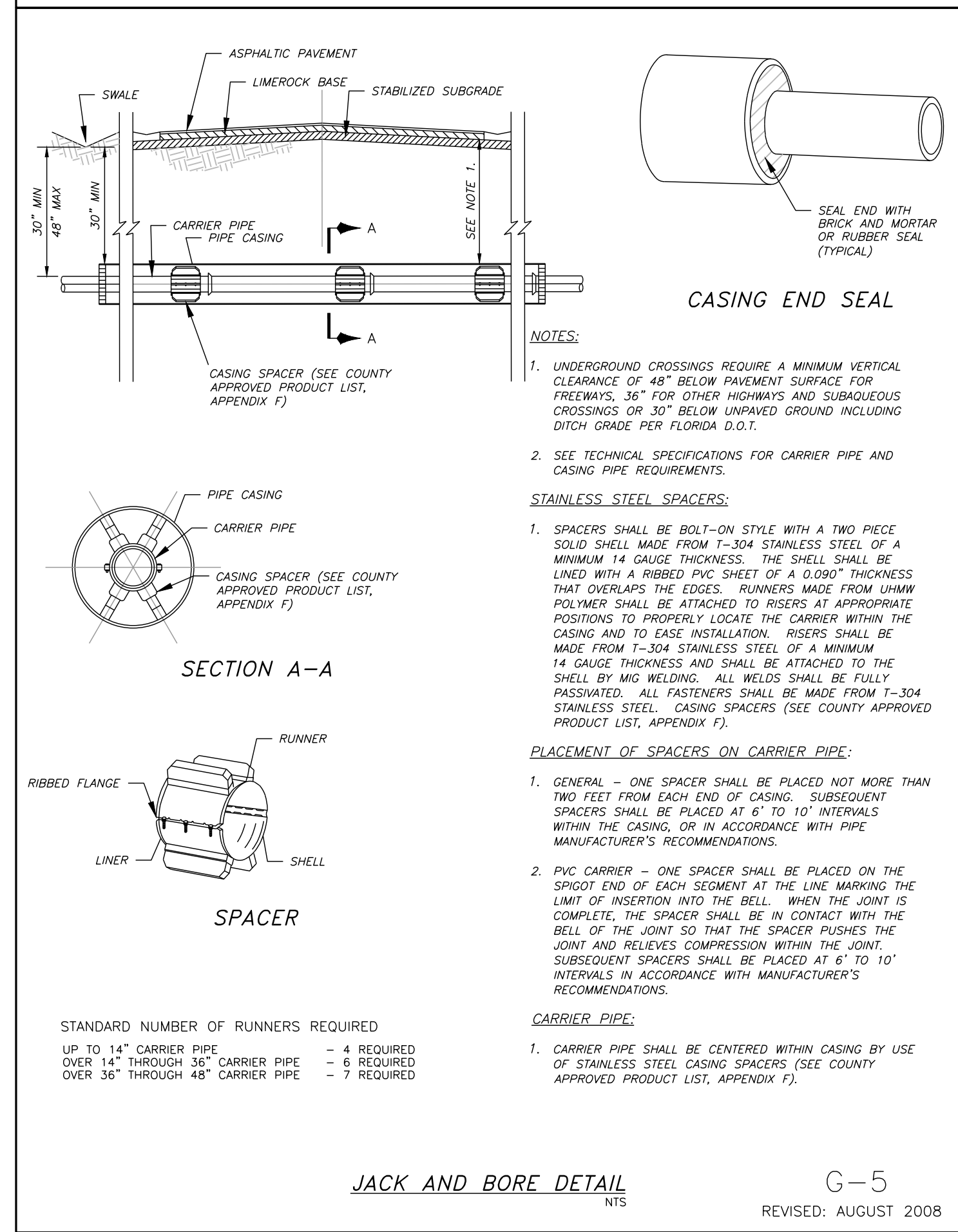
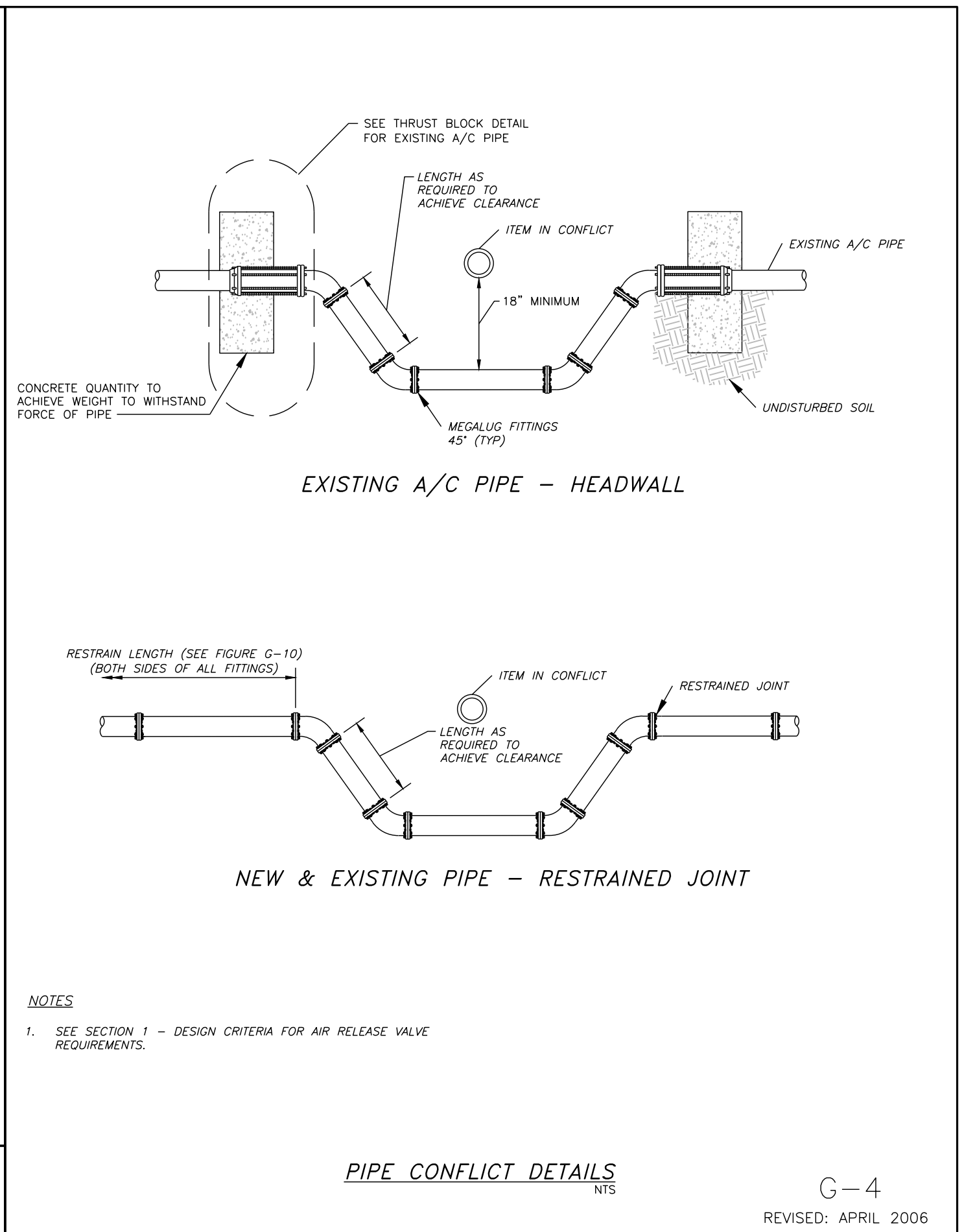
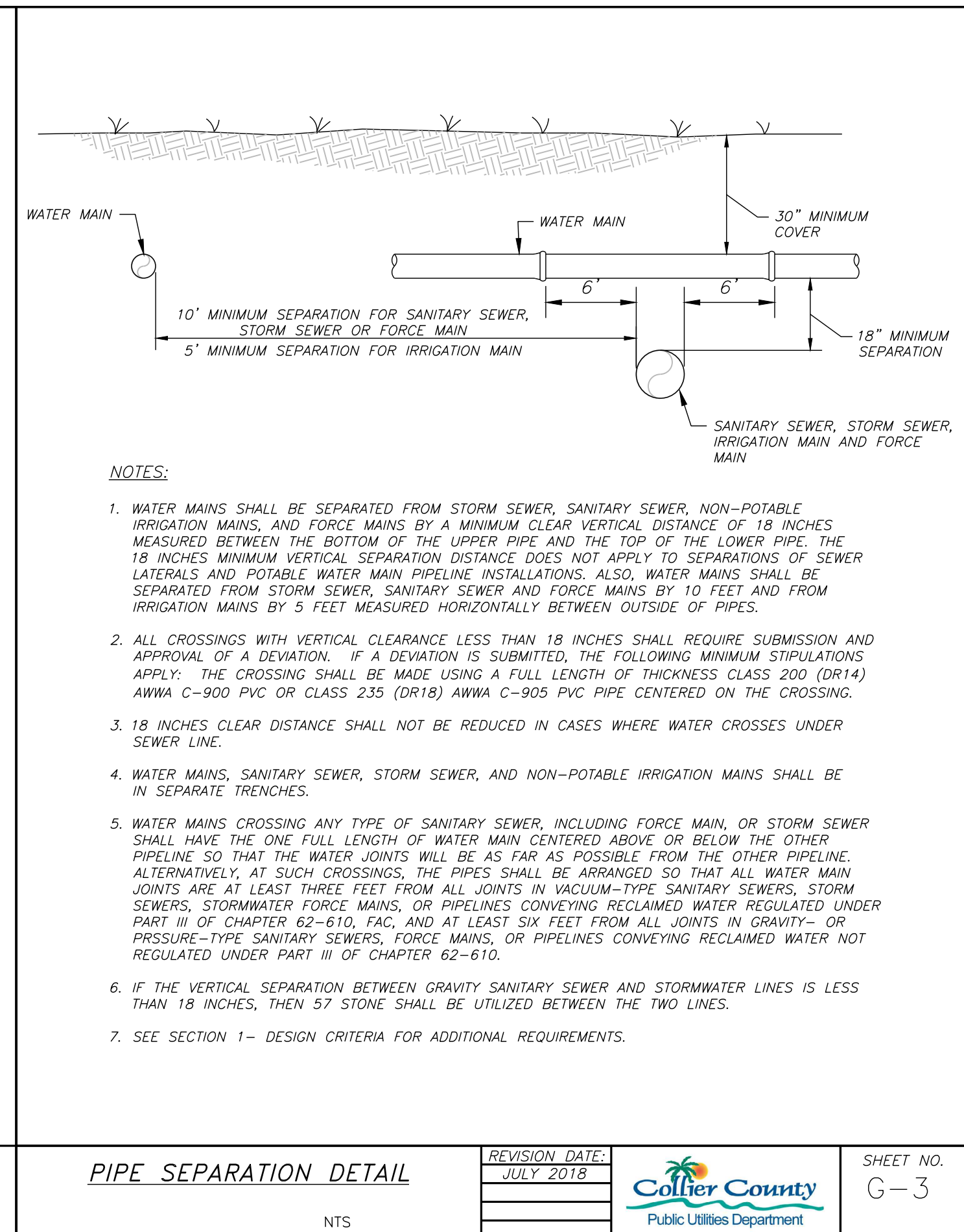
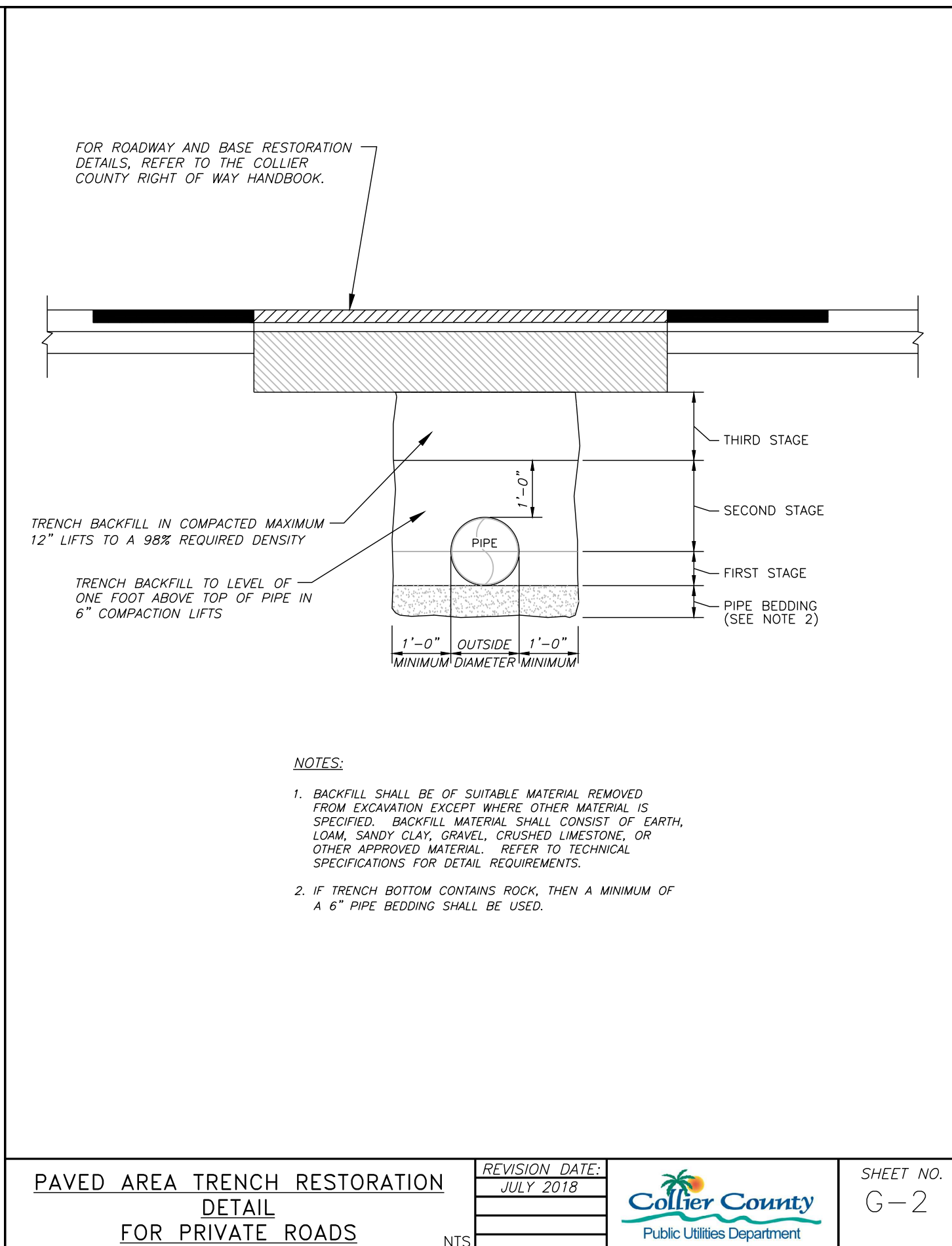
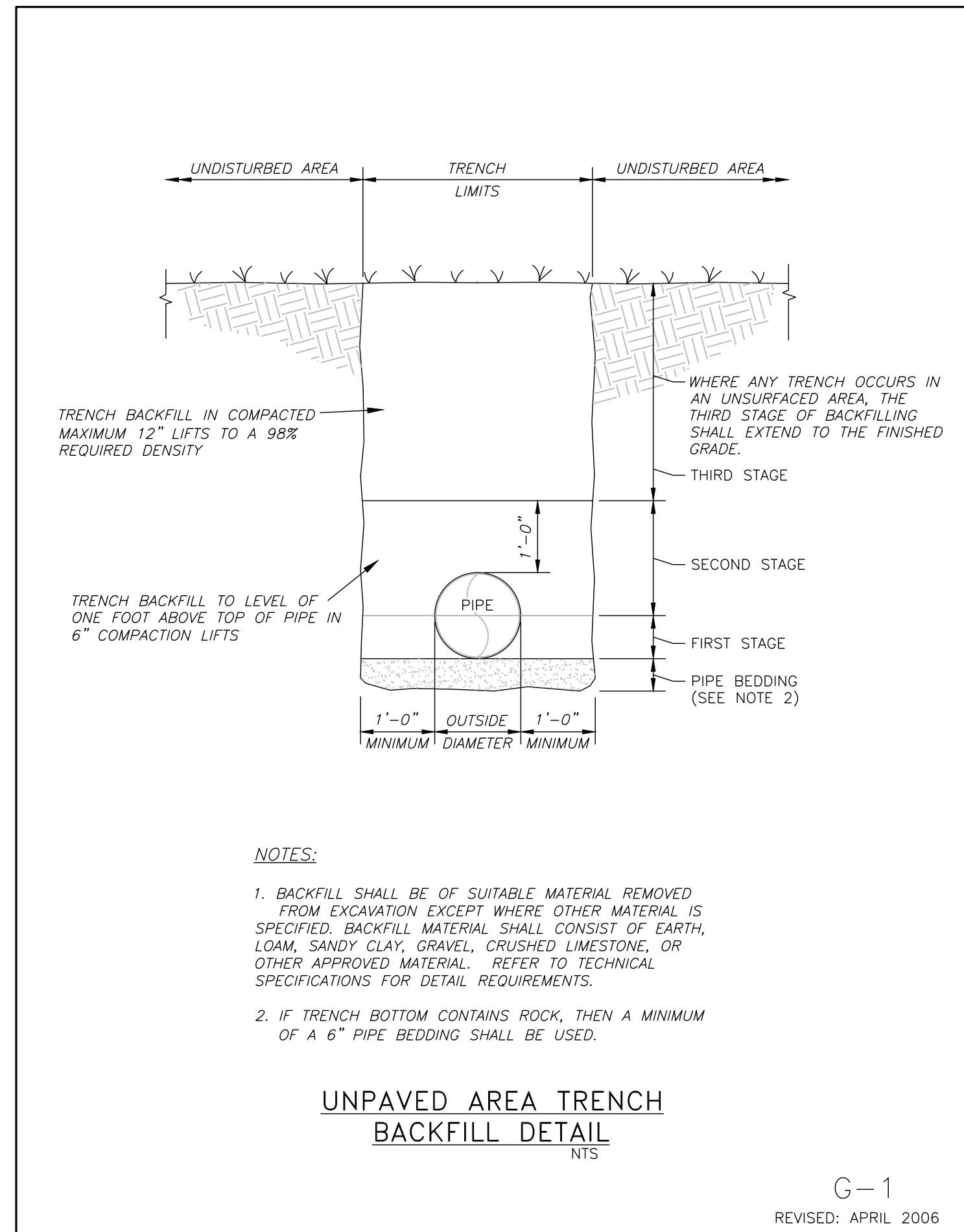
DESIGNED BY:	J.D.		
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APPROVED:	M.W.M.		
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HIDDEN COVE
 PLAN AND PROFILE - HIDDEN COVE DRIVE
 STA. 9+50 - 17+80
 ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
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MUNICIPALITY: COLLIER COUNTY
 SEC./TOWNSHIP/RNG 23/515/26E
 DATE: JANUARY 2023
 SUBMITTAL TYPE: PPL
 SHEET 13 OF 17

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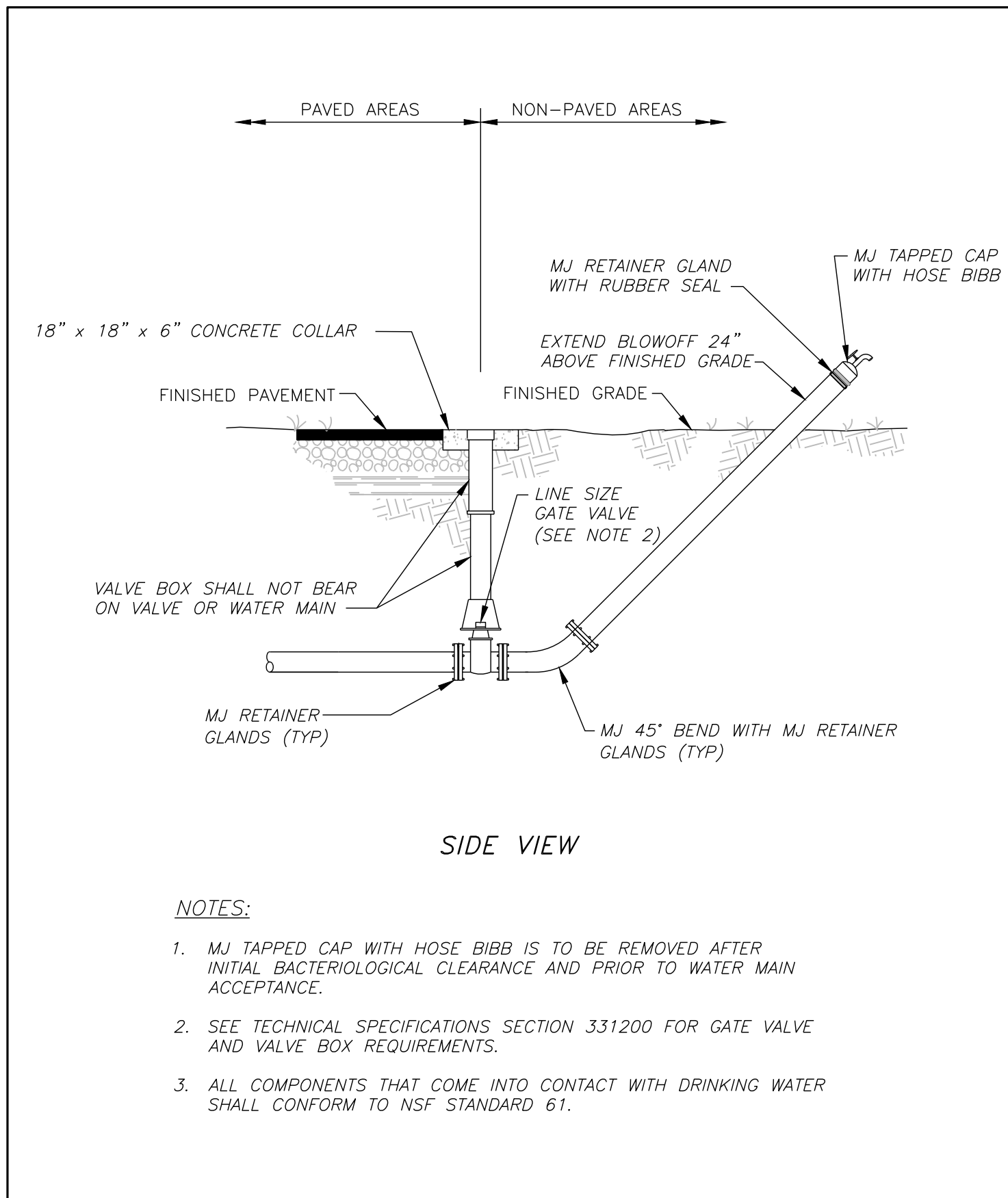
PIPE RESTRAINT SCHEDULE
NTS
G-10
REVISED: APRIL 2006

PIPE SIZE IN INCHES	RESTRAINED PIPE LENGTH IN FEET (1)			
	HORIZONTAL BENDS		DEAD ENDS (2)	45° VERTICAL BENDS
	90°	45°	22-1/2'	11-1/4'
4	23	9	5	2
6	32	13	6	3
8	40	17	8	4
10	48	20	10	5
12	56	23	11	6
16	71	29	14	7
18	77	32	15	8
20	84	35	17	8
24	96	40	19	10
30	112	47	22	11
36	127	53	25	13

PIPE SIZE IN INCHES	RESTRAINED PIPE LENGTH IN FEET (1)	
	TEE (3)	REDUCER (4)
6 x 4	0	40
6 x 6	34	72
8 x 4	0	72
8 x 8	55	75
10 x 6	3	74
10 x 10	75	
12 x 4	0	122
12 x 8	31	75
12 x 12	95	
16 x 6	0	153
16 x 10	44	107
16 x 16	134	
18 x 8	0	157
18 x 12	68	108
18 x 18	152	
20 x 10	20	161
20 x 16	120	77
20 x 20	170	
24 x 12	37	187
24 x 18	132	109
24 x 24	204	
30 x 16	78	213
30 x 20	138	165
30 x 30	252	
36 x 18	84	259
36 x 24	170	191
36 x 36	298	

LEGEND UP TO 14" CARRIER PIPE - 4 REQUIRED OVER 14" THROUGH 36" CARRIER PIPE - 6 REQUIRED OVER 36" THROUGH 48" CARRIER PIPE - 7 REQUIRED	DESIGNED BY: J.D. DRAWN BY: K.L.M. APPROVED: M.W.M. JOB CODE: FC6SP SCALE: AS SHOWN	GradyMinor Civil Engineers • Land Surveyors • Planners • Landscape Architects Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151 Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380	M. W. MINOR, P.E. FLORIDA P.E. LICENSE NO. 45324
	REVISION: _____ DATE: _____ DESCRIPTION: _____	SHEET NO. G-14 OF 17	MUNICIPALITY: COLLIER COUNTY SEC/TOWNSHIP/RNG: 23/515/26E DATE: JANUARY 2023 SUBMITTAL TYPE: PPL

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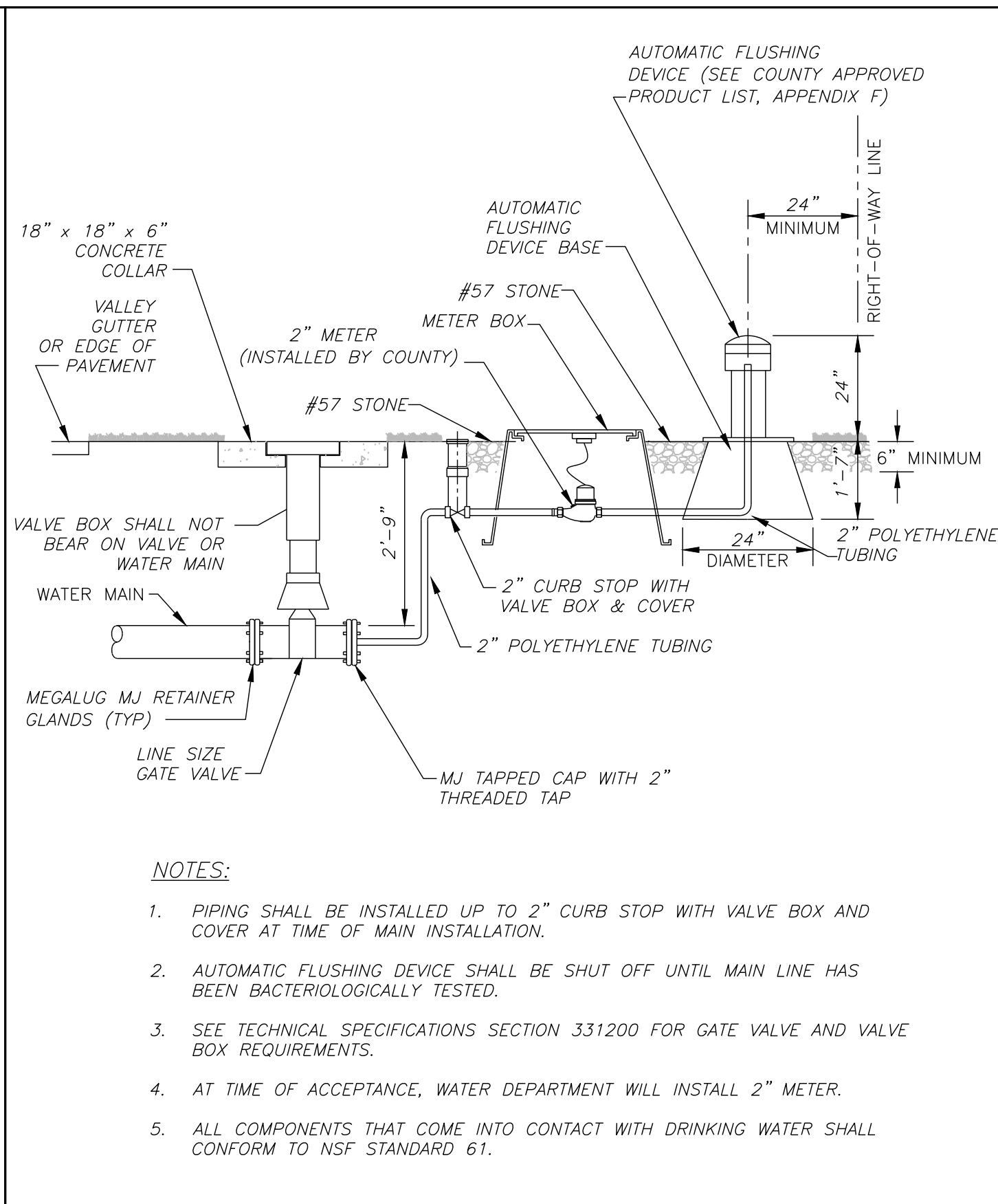
- NOTES:**
- MJ TAPPED CAP WITH HOSE BIBB IS TO BE REMOVED AFTER INITIAL BACTERIOLOGICAL CLEARANCE AND PRIOR TO WATER MAIN ACCEPTANCE.
 - SEE TECHNICAL SPECIFICATIONS SECTION 331200 FOR GATE VALVE AND VALVE BOX REQUIREMENTS.
 - ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.

TEMPORARY BLOWOFF ASSEMBLY WITH BACTERIAL SAMPLING POINT DETAIL NTS

REVISION DATE: JUNE 2013

Collier County Public Utilities Department

SHEET NO. W-1



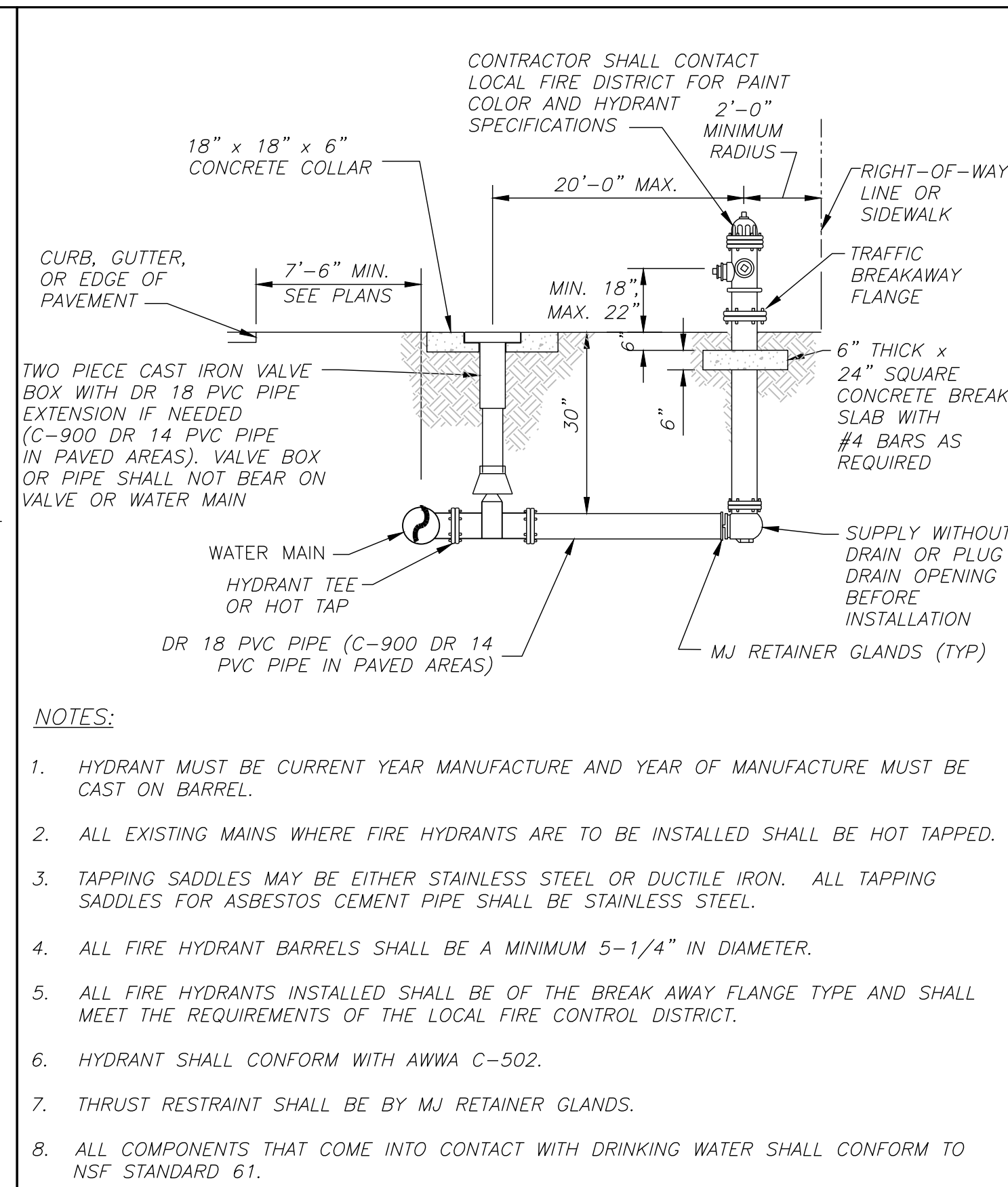
- NOTES:**
- PIPING SHALL BE INSTALLED UP TO 2" CURB STOP WITH VALVE BOX AND COVER AT TIME OF MAIN INSTALLATION.
 - AUTOMATIC FLUSHING DEVICE SHALL BE SHUT OFF UNTIL MAIN LINE HAS BEEN BACTERIOLOGICALLY TESTED.
 - SEE TECHNICAL SPECIFICATIONS SECTION 331200 FOR GATE VALVE AND VALVE BOX REQUIREMENTS.
 - AT TIME OF ACCEPTANCE, WATER DEPARTMENT WILL INSTALL 2" METER.
 - ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.

AUTOMATIC WATER MAIN FLUSHING DEVICE DETAIL NTS

REVISION DATE: JUNE 2013

Collier County Public Utilities Department

SHEET NO. W-2



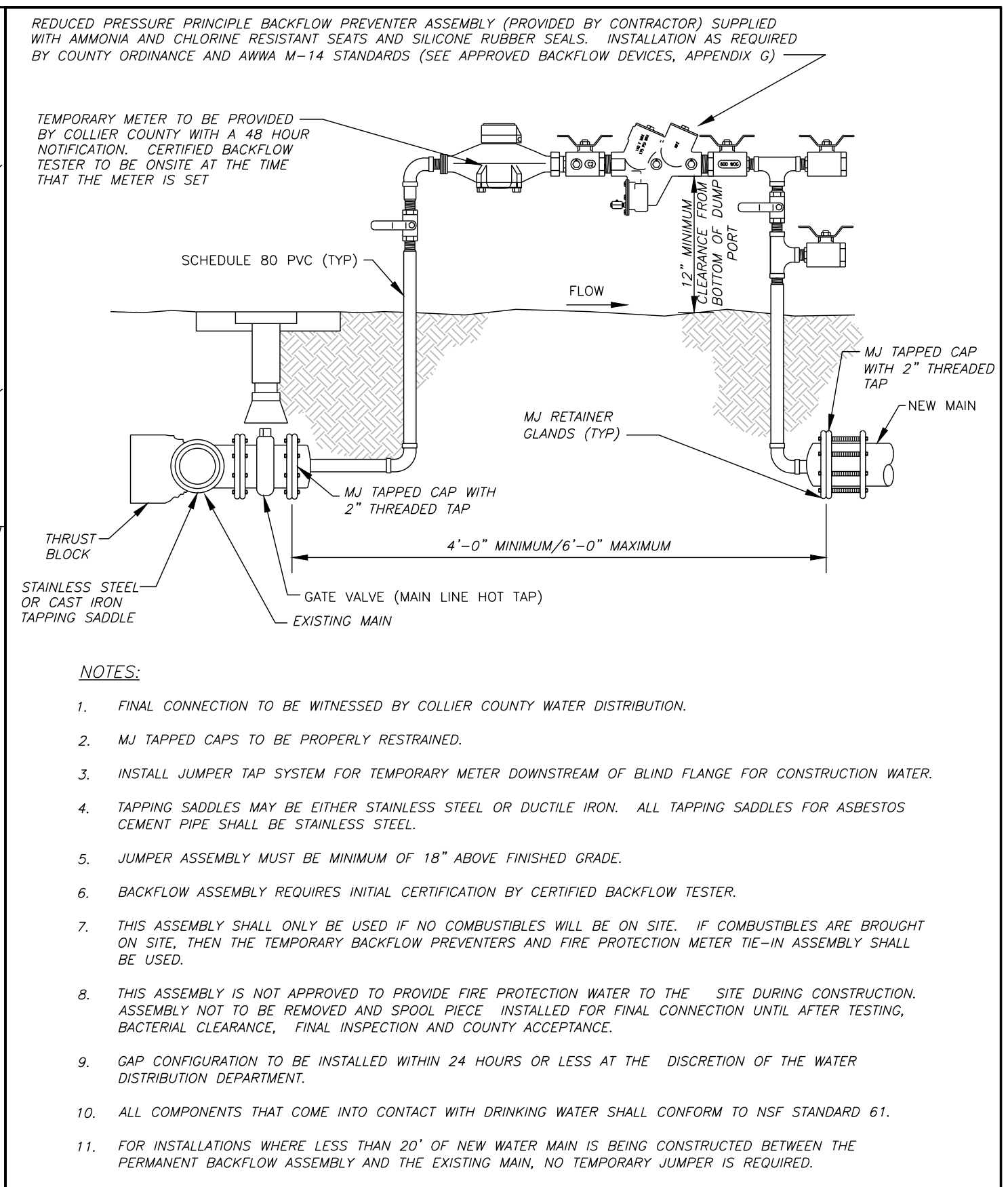
- NOTES:**
- HYDRANT MUST BE CURRENT YEAR MANUFACTURE AND YEAR OF MANUFACTURE MUST BE CAST ON BARREL.
 - ALL EXISTING MAINS WHERE FIRE HYDRANTS ARE TO BE INSTALLED SHALL BE HOT TAPPED.
 - TAPPING SADDLES MAY BE EITHER STAINLESS STEEL OR DUCTILE IRON. ALL TAPPING SADDLES FOR ASBESTOS CEMENT PIPE SHALL BE STAINLESS STEEL.
 - ALL FIRE HYDRANT BARRELS SHALL BE A MINIMUM 5-1/4" IN DIAMETER.
 - ALL FIRE HYDRANTS INSTALLED SHALL BE OF THE BREAK AWAY FLANGE TYPE AND SHALL MEET THE REQUIREMENTS OF THE LOCAL FIRE CONTROL DISTRICT.
 - HYDRANT SHALL CONFORM WITH AWWA C-502.
 - THRUST RESTRAINT SHALL BE BY MJ RETAINER GLANDS.
 - ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.

FIRE HYDRANT DETAIL NTS

REVISION DATE: JULY 2018

Collier County Public Utilities Department

SHEET NO. W-3



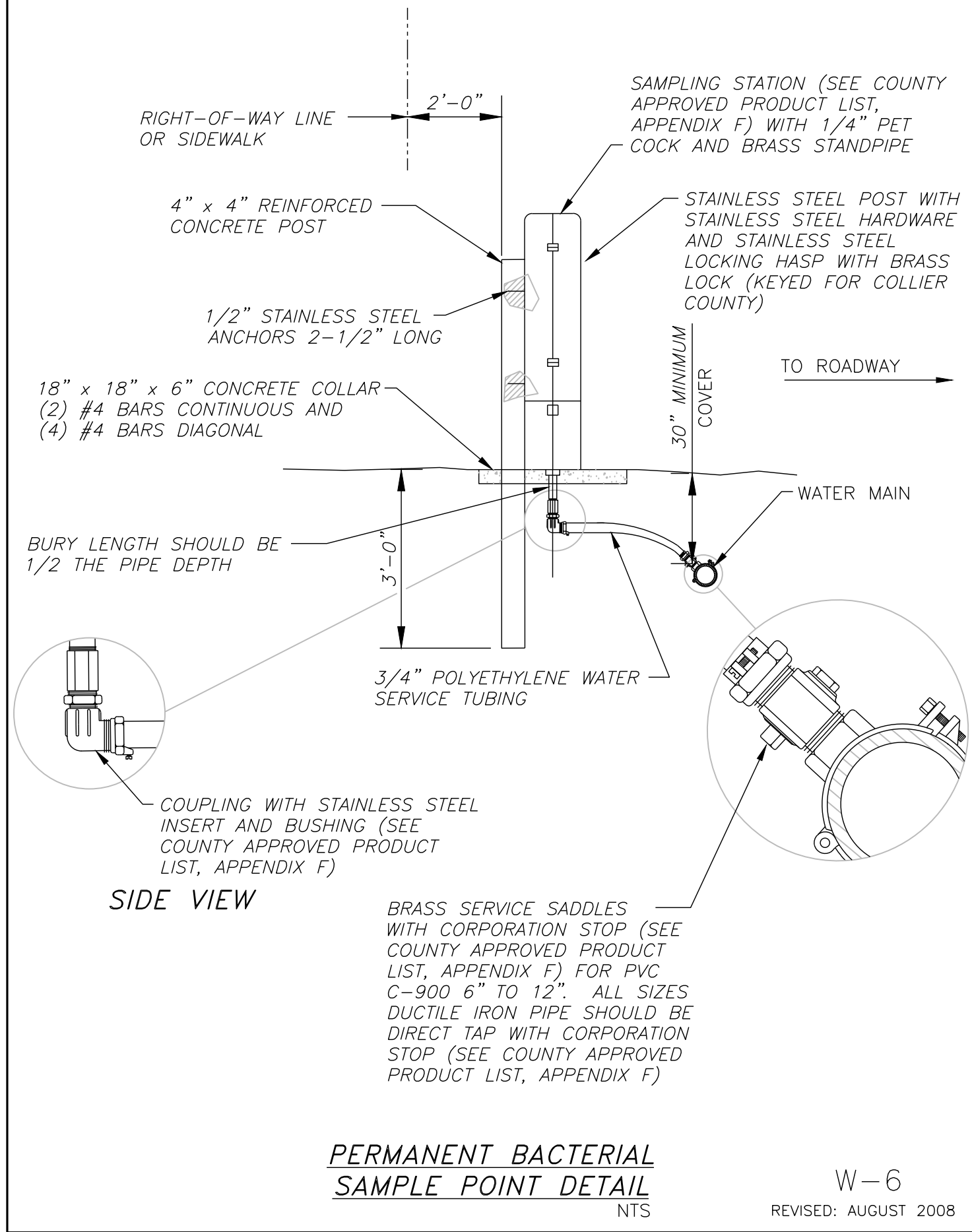
- NOTES:**
- FINAL CONNECTION TO BE WITNESSED BY COLLIER COUNTY WATER DISTRIBUTION.
 - MJ TAPPED CAPS TO BE PROPERLY RESTRAINED.
 - INSTALL JUMPER TAP SYSTEM FOR TEMPORARY METER DOWNSTREAM OF BLIND FLANGE FOR CONSTRUCTION WATER.
 - TAPPING SADDLES MAY BE EITHER STAINLESS STEEL OR DUCTILE IRON. ALL TAPPING SADDLES FOR ASBESTOS CEMENT PIPE SHALL BE STAINLESS STEEL.
 - JUMPER ASSEMBLY MUST BE MINIMUM OF 18" ABOVE FINISHED GRADE.
 - BACKFLOW ASSEMBLY REQUIRES INITIAL CERTIFICATION BY CERTIFIED BACKFLOW TESTER.
 - THIS ASSEMBLY SHALL ONLY BE USED IF NO COMBUSTIBLES WILL BE ON SITE. IF COMBUSTIBLES ARE BROUGHT ON SITE, THEN THE TEMPORARY BACKFLOW PREVENTERS AND FIRE PROTECTION METER TIE-IN ASSEMBLY SHALL BE USED.
 - THIS ASSEMBLY IS NOT APPROVED TO PROVIDE FIRE PROTECTION WATER TO THE SITE DURING CONSTRUCTION. ASSEMBLY NOT TO BE REMOVED AND SPOOL PIECE INSTALLED FOR FINAL CONNECTION UNTIL AFTER TESTING, BACTERIAL CLEARANCE, FINAL INSPECTION AND COUNTY ACCEPTANCE.
 - GAP CONFIGURATION TO BE INSTALLED WITHIN 24 HOURS OR LESS AT THE DISCRETION OF THE WATER DISTRIBUTION DEPARTMENT.
 - ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.
 - FOR INSTALLATIONS WHERE LESS THAN 20' OF NEW WATER MAIN IS BEING CONSTRUCTED BETWEEN THE PERMANENT BACKFLOW ASSEMBLY AND THE EXISTING MAIN, NO TEMPORARY JUMPER IS REQUIRED.

CONNECTION TO EXISTING WATER MAIN DETAIL (GAP CONFIGURATION) NTS

REVISION DATE: JULY 2018

Collier County Public Utilities Department

SHEET NO. W-4



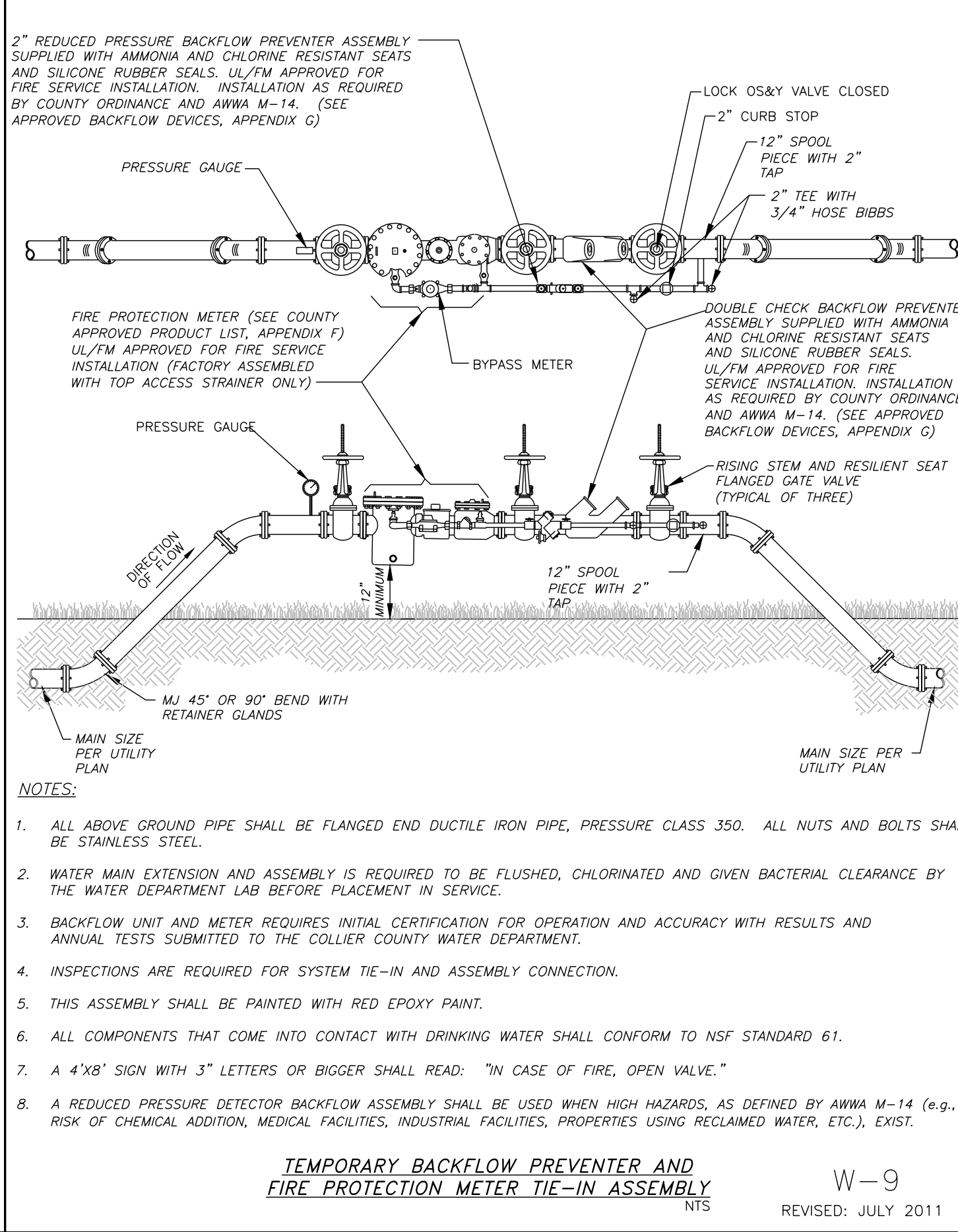
- NOTES:**
- ALL ABOVE GROUND PIPE SHALL BE FLANGED END DUCTILE IRON PIPE, PRESSURE CLASS 350. ALL NUTS AND BOLTS SHALL BE STAINLESS STEEL.
 - WATER MAIN EXTENSION AND ASSEMBLY IS REQUIRED TO BE FLUSHED, CHLORINATED AND GIVEN BACTERIAL CLEARANCE BY THE WATER DEPARTMENT LAB BEFORE PLACEMENT IN SERVICE.
 - BACKFLOW UNIT AND METER REQUIRES INITIAL CERTIFICATION FOR OPERATION AND ACCURACY WITH RESULTS AND ANNUAL TESTS SUBMITTED TO THE COLLIER COUNTY WATER DEPARTMENT.
 - INSPECTIONS ARE REQUIRED FOR SYSTEM TIE-IN AND ASSEMBLY CONNECTION.
 - THIS ASSEMBLY SHALL BE PAINTED WITH RED EPOXY PAINT.
 - ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.
 - A 4"X8" SIGN WITH 3" LETTERS OR BIGGER SHALL READ: "IN CASE OF FIRE, OPEN VALVE."
 - A REDUCED PRESSURE DETECTOR BACKFLOW ASSEMBLY SHALL BE USED WHEN HIGH HAZARDS, AS DEFINED BY AWWA M-14 (e.g., RISK OF CHEMICAL ADDITION, MEDICAL FACILITIES, INDUSTRIAL FACILITIES, PROPERTIES USING RECLAIMED WATER, ETC.), EXIST.

PERMANENT BACTERIAL SAMPLE POINT DETAIL NTS

REVISION DATE: AUGUST 2008

Collier County Public Utilities Department

SHEET NO. W-6



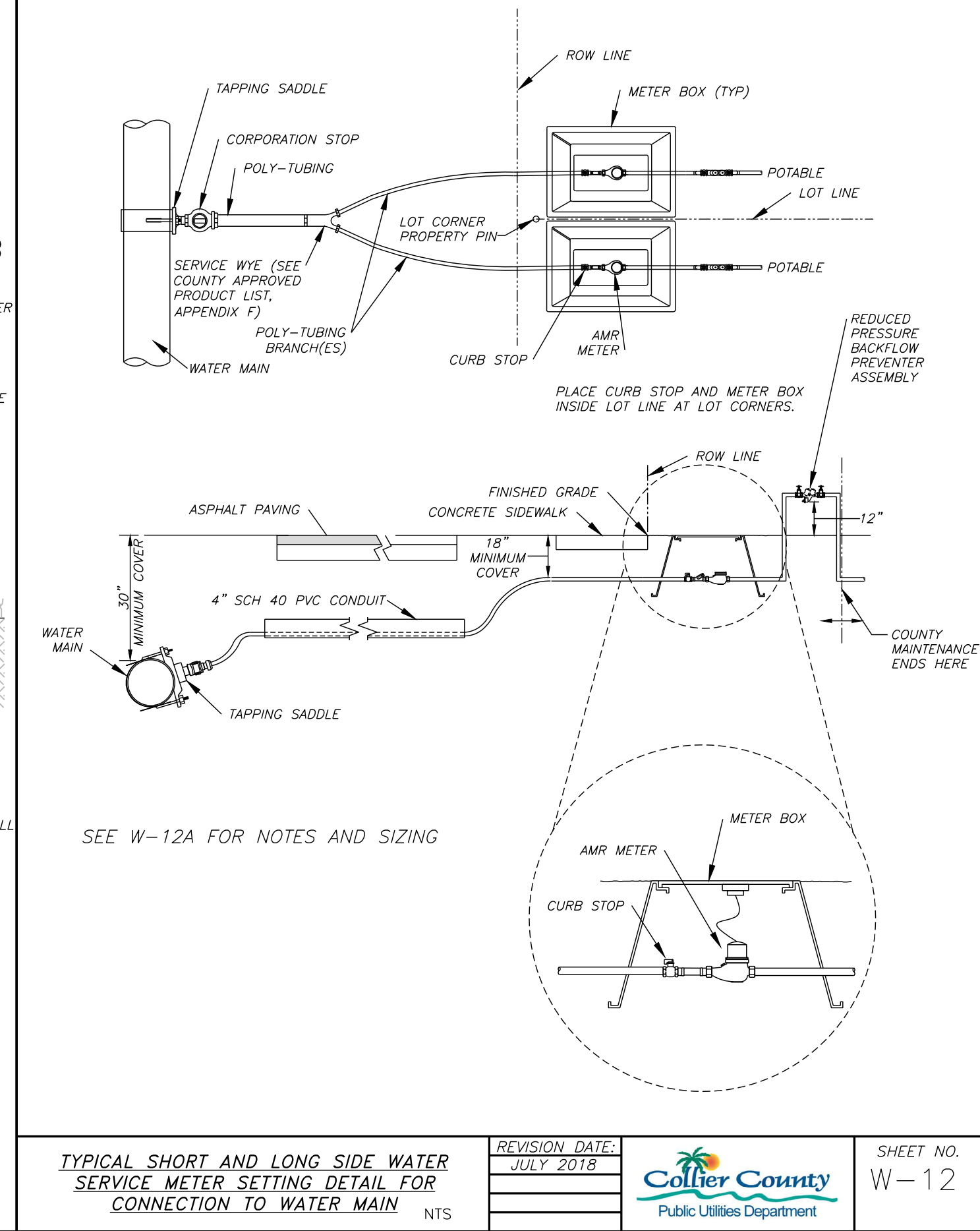
- NOTES:**
- ALL ABOVE GROUND PIPE SHALL BE FLANGED END DUCTILE IRON PIPE, PRESSURE CLASS 350. ALL NUTS AND BOLTS SHALL BE STAINLESS STEEL.
 - WATER MAIN EXTENSION AND ASSEMBLY IS REQUIRED TO BE FLUSHED, CHLORINATED AND GIVEN BACTERIAL CLEARANCE BY THE WATER DEPARTMENT LAB BEFORE PLACEMENT IN SERVICE.
 - BACKFLOW UNIT AND METER REQUIRES INITIAL CERTIFICATION FOR OPERATION AND ACCURACY WITH RESULTS AND ANNUAL TESTS SUBMITTED TO THE COLLIER COUNTY WATER DEPARTMENT.
 - INSPECTIONS ARE REQUIRED FOR SYSTEM TIE-IN AND ASSEMBLY CONNECTION.
 - THIS ASSEMBLY SHALL BE PAINTED WITH RED EPOXY PAINT.
 - ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.
 - A 4"X8" SIGN WITH 3" LETTERS OR BIGGER SHALL READ: "IN CASE OF FIRE, OPEN VALVE."
 - A REDUCED PRESSURE DETECTOR BACKFLOW ASSEMBLY SHALL BE USED WHEN HIGH HAZARDS, AS DEFINED BY AWWA M-14 (e.g., RISK OF CHEMICAL ADDITION, MEDICAL FACILITIES, INDUSTRIAL FACILITIES, PROPERTIES USING RECLAIMED WATER, ETC.), EXIST.

TEMPORARY BACKFLOW PREVENTER AND FIRE PROTECTION METER TIE-IN ASSEMBLY NTS

REVISION DATE: JULY 2011

Collier County Public Utilities Department

SHEET NO. W-9



- NOTES:**
- 1-1/2" AND LARGER METERS SHALL BE SERVED BY SINGLE SERVICES ONLY.
 - WYE CONNECTORS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) SHALL BE USED FOR MULTI-SERVICE. SUCCESSIVE TAPS INTO WATER MAIN WILL BE NO CLOSER THAN 24" APART.
 - ALL CASING PIPE SHALL EXTEND A MINIMUM OF 5' BEYOND THE EDGE OF PAVEMENT, WITH A CASING DIAMETER TO BE NO LESS THAN 4". CONDUIT SHALL BE MARKED WITH AN ELECTRONIC MARKER (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F).
 - TAPPING SADDLE, CORPORATION STOP, POLY TUBING, CURB STOP, AND METER BOXES SHALL BE INSTALLED BY UNDERGROUND UTILITY CONTRACTOR AT THE TIME OF WATER MAIN INSTALLATION.
 - MATERIAL SPECIFICATIONS:
 - A. TAPPING SADDLES SHALL BE DOUBLE STRAP BRASS OR DUCTILE IRON (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F).
 - B. CORPORATION STOPS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) SHALL BE BALL TYPE AND MADE OF RED BRASS. OUTLET SHALL BE COMPRESSION TYPE POLYETHYLENE TUBE. COMPRESSION INSERT SHALL BE STAINLESS STEEL.
 - C. CURB STOPS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) SHALL BE BALL TYPE AND MADE OF RED BRASS. INLET SHALL BE COMPRESSION JOINT. OUTLET SHALL BE SWIVEL NUT FOR METER CONNECTION.
 - D. TUBING SHALL BE POLYETHYLENE, PE4710, (AWWA C-901, DR 9) AND BLUE IN COLOR.
 - ALL PLANTINGS SHALL BE A MINIMUM 3" FROM METER BOX, AND SHALL PROVIDE A 3" ACCESS OPENING.
 - ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61 AND THE REDUCTION OF LEAD IN DRINKING WATER ACT AMENDING THE SAFE DRINKING WATER ACT.

TYPICAL SHORT AND LONG SIDE WATER SERVICE METER SETTING DETAIL FOR CONNECTION TO WATER MAIN NTS

REVISION DATE: JULY 2018

Collier County Public Utilities Department

SHEET NO. W-12

SERVICE CONNECTION SIZING CHART

SINGLE SERVICE	CONNECTION TO MAIN	DOUBLE SERVICE	CONNECTION TO MAIN	BRANCH SIZE
3/8" METER	1-1/2"	(2) 3/8" METERS	1-1/2"	1"
1" METER	1-1/2"	(2) 1" METERS	1-1/2"	1"
1-1/2" METER	1-1/2"			
2" METER	2"			

NOTES:

- 1-1/2" AND LARGER METERS SHALL BE SERVED BY SINGLE SERVICES ONLY.
- WYE CONNECTORS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) SHALL BE USED FOR MULTI-SERVICE. SUCCESSIVE TAPS INTO WATER MAIN WILL BE NO CLOSER THAN 24" APART.
- ALL CASING PIPE SHALL EXTEND A MINIMUM OF 5' BEYOND THE EDGE OF PAVEMENT, WITH A CASING DIAMETER TO BE NO LESS THAN 4". CONDUIT SHALL BE MARKED WITH AN ELECTRONIC MARKER (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F).
- TAPPING SADDLE, CORPORATION STOP, POLY TUBING, CURB STOP, AND METER BOXES SHALL BE INSTALLED BY UNDERGROUND UTILITY CONTRACTOR AT THE TIME OF WATER MAIN INSTALLATION.
- MATERIAL SPECIFICATIONS:
 - A. TAPPING SADDLES SHALL BE DOUBLE STRAP BRASS OR DUCTILE IRON (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F).
 - B. CORPORATION STOPS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) SHALL BE BALL TYPE AND MADE OF RED BRASS. OUTLET SHALL BE COMPRESSION TYPE POLYETHYLENE TUBE. COMPRESSION INSERT SHALL BE STAINLESS STEEL.
 - C. CURB STOPS (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) SHALL BE BALL TYPE AND MADE OF RED BRASS. INLET SHALL BE COMPRESSION JOINT. OUTLET SHALL BE SWIVEL NUT FOR METER CONNECTION.
 - D. TUBING SHALL BE POLYETHYLENE, PE4710, (AWWA C-901, DR 9) AND BLUE IN COLOR.
- ALL PLANTINGS SHALL BE A MINIMUM 3" FROM METER BOX, AND SHALL PROVIDE A 3" ACCESS OPENING.
- ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61 AND THE REDUCTION OF LEAD IN DRINKING WATER ACT AMENDING THE SAFE DRINKING WATER ACT.

SERVICE CONNECTION SIZING CHART AND NOTES NTS

REVISION DATE: JULY 2018

Collier County Public Utilities Department

SHEET NO. W-12A

LEGEND

Revision	Date	Description

DESIGNED BY:	J.D.
DRAWN BY:	K.L.M.
APPROVED:	M.W.M.
JOB CODE:	FC6SP
SCALE:	AS SHOWN

GradyMinor

0. Grady Minor and Associates, P.A.
3800 Via Del Rey
Bonita Springs, Florida 34134

Civil Engineers • Land Surveyors • Planners • Landscape Architects

Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151

Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380

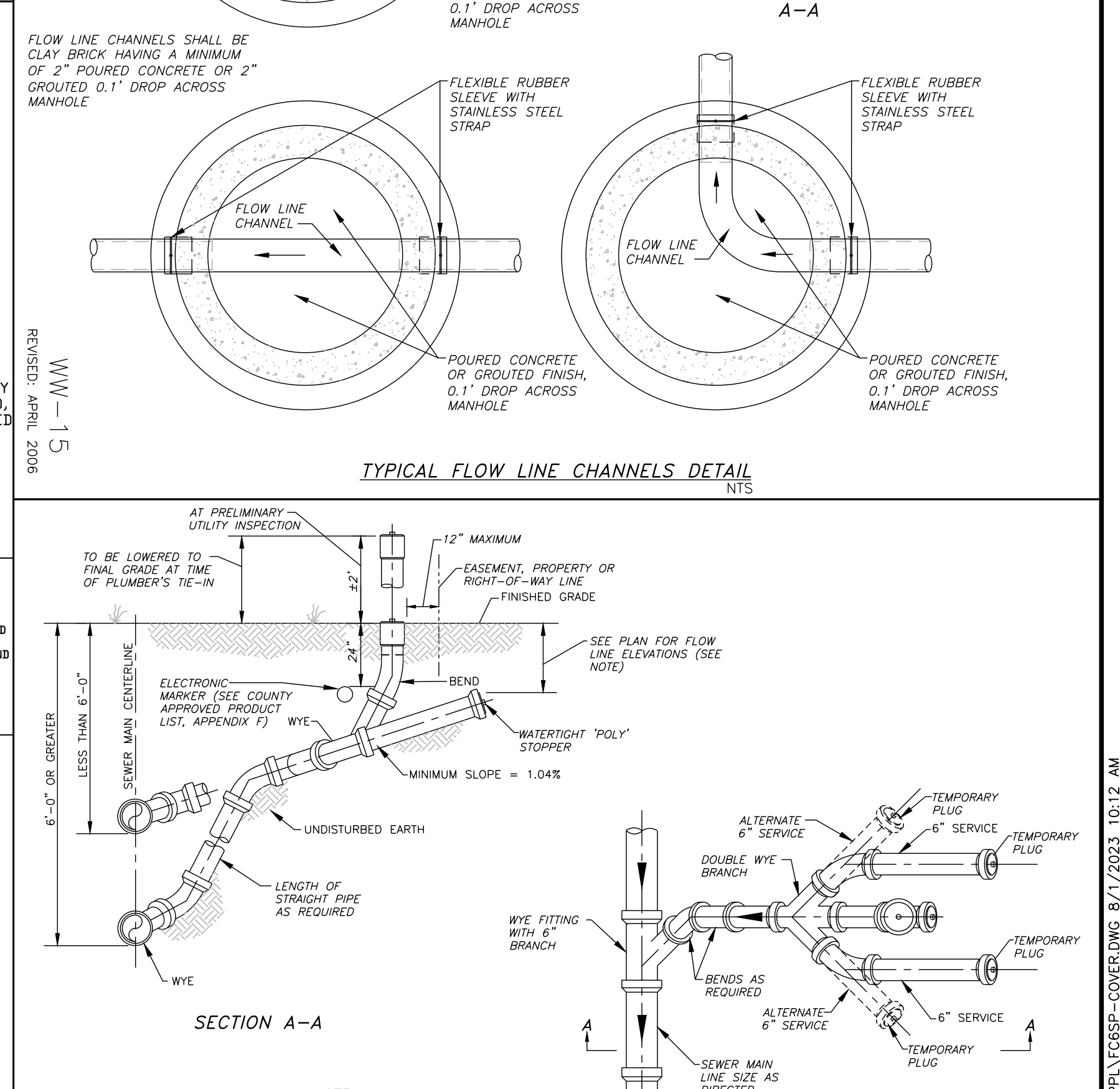
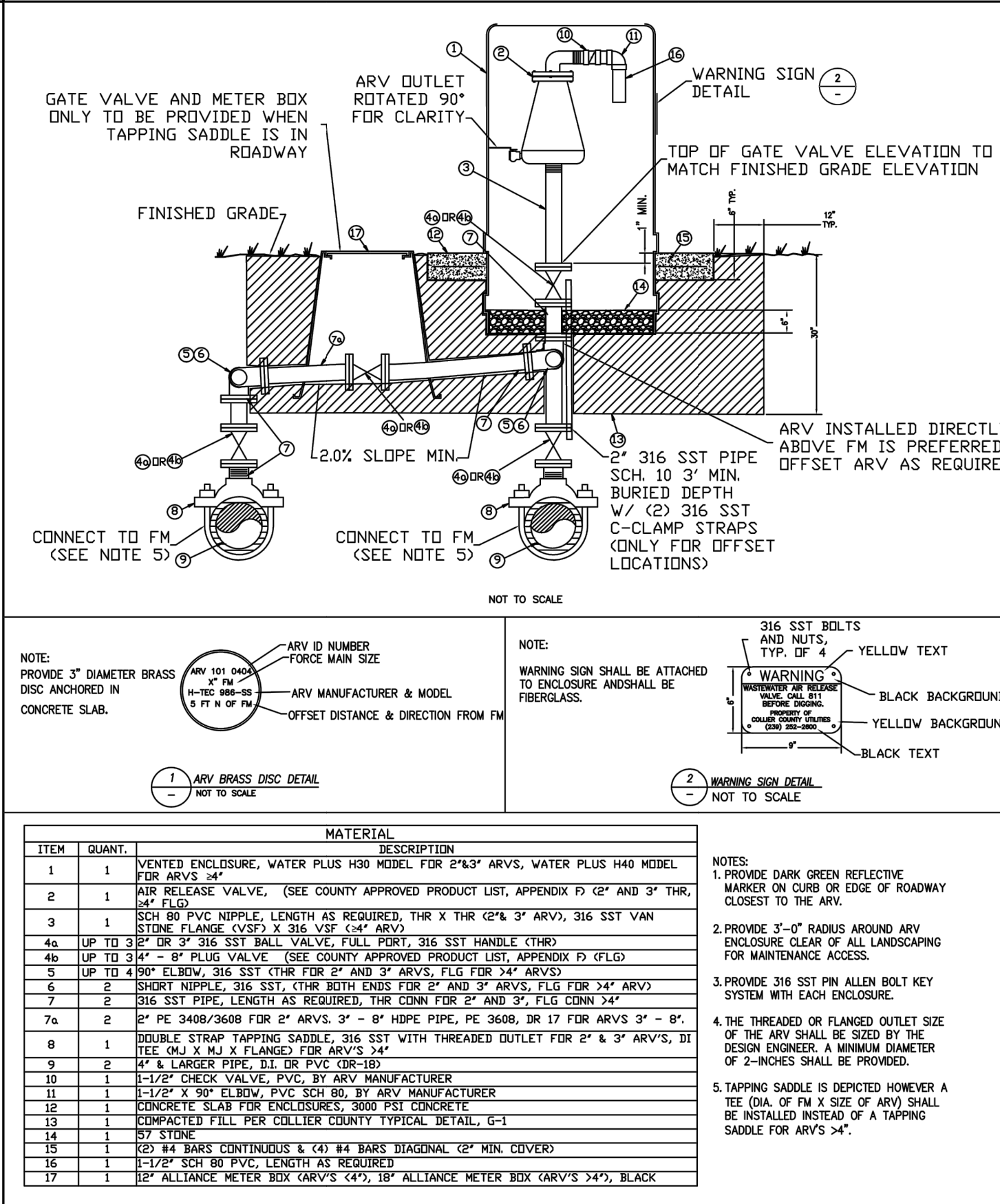
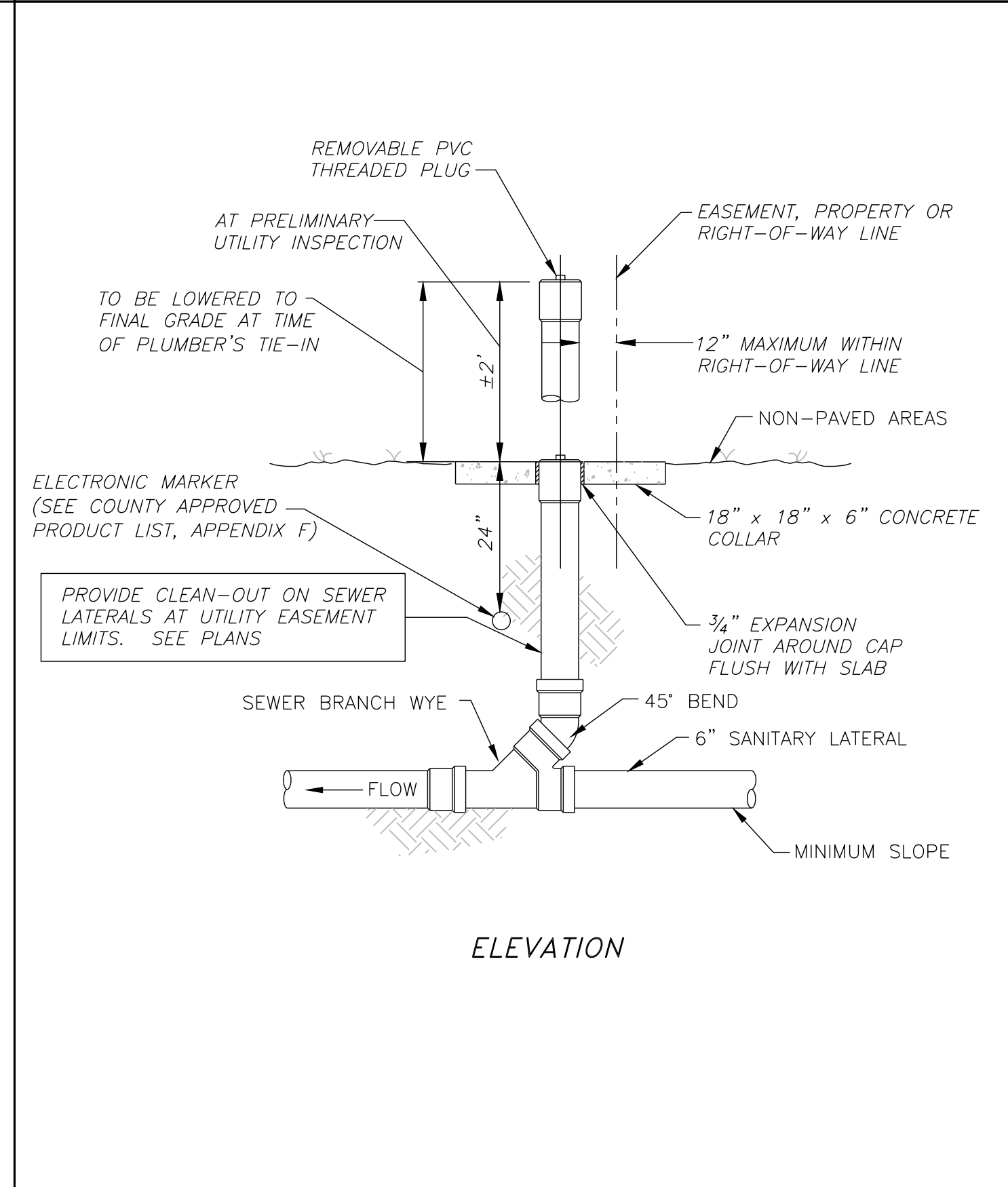
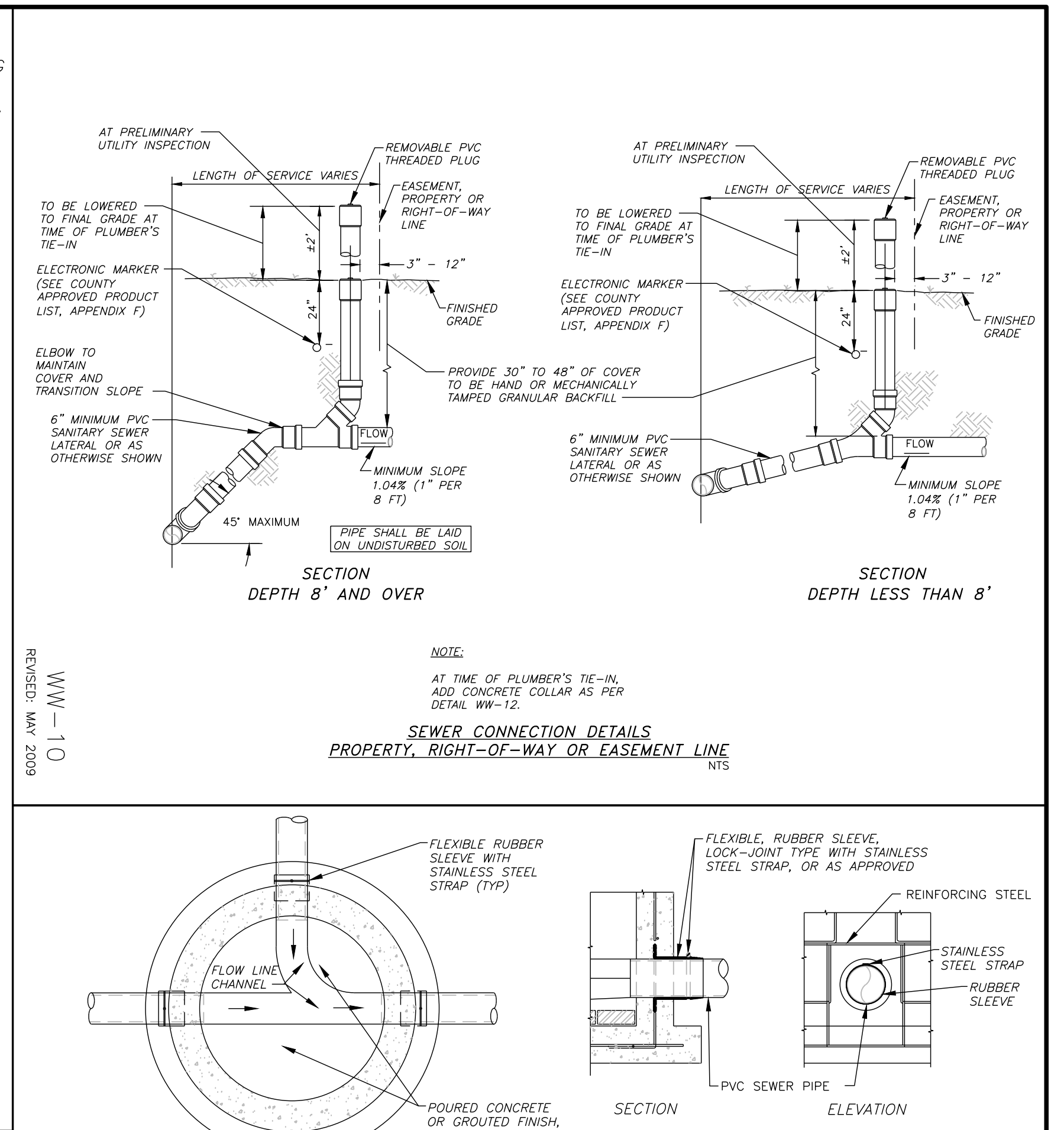
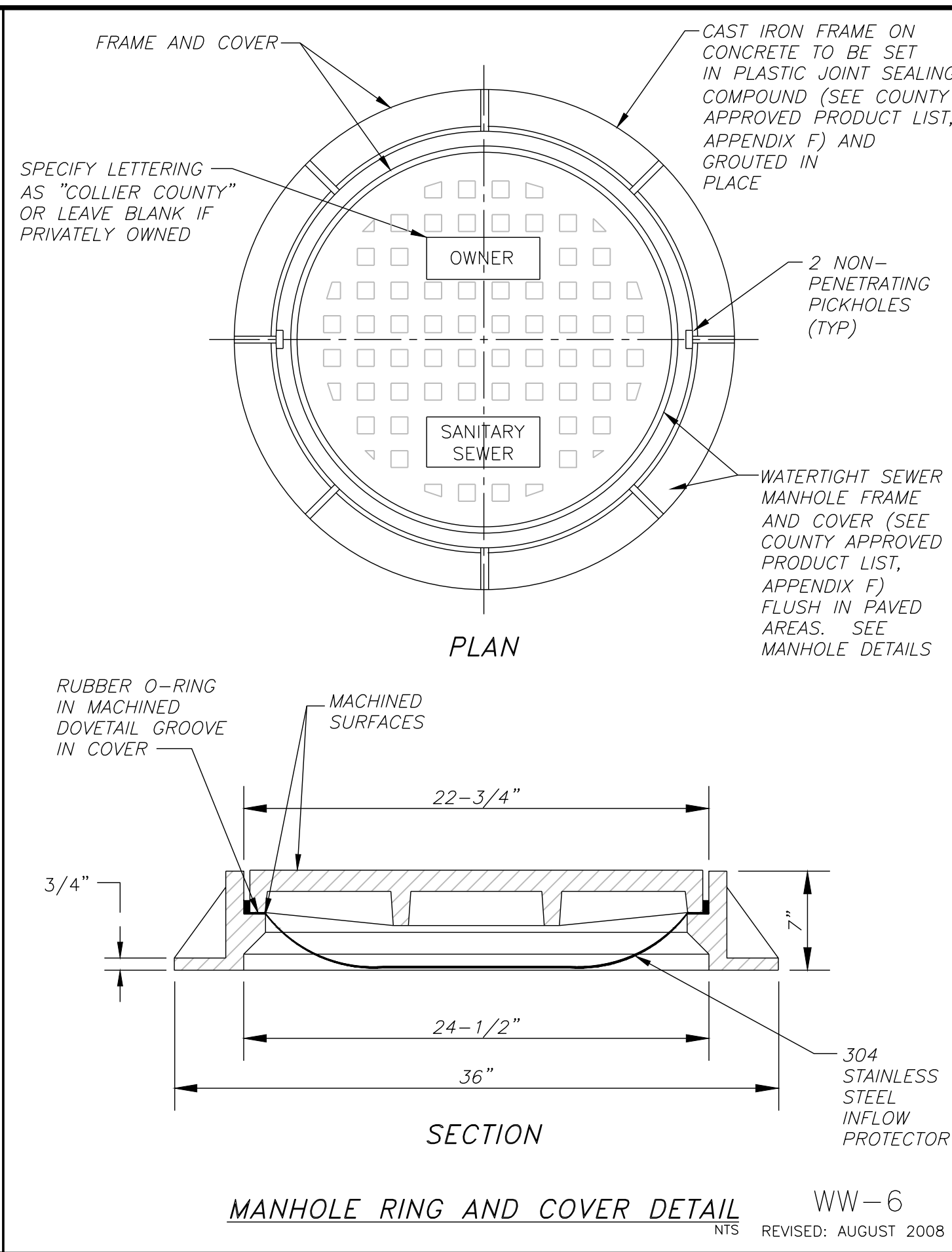
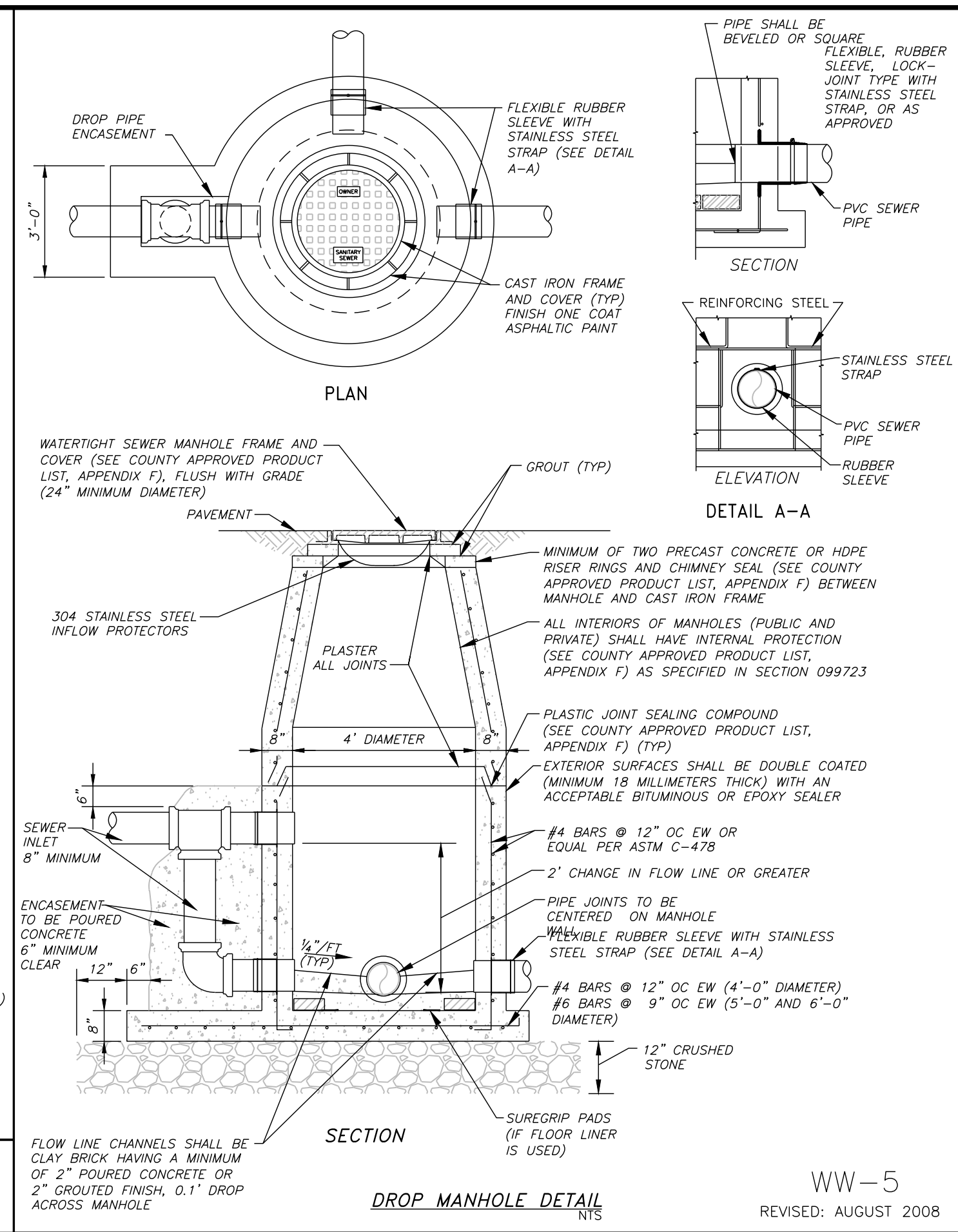
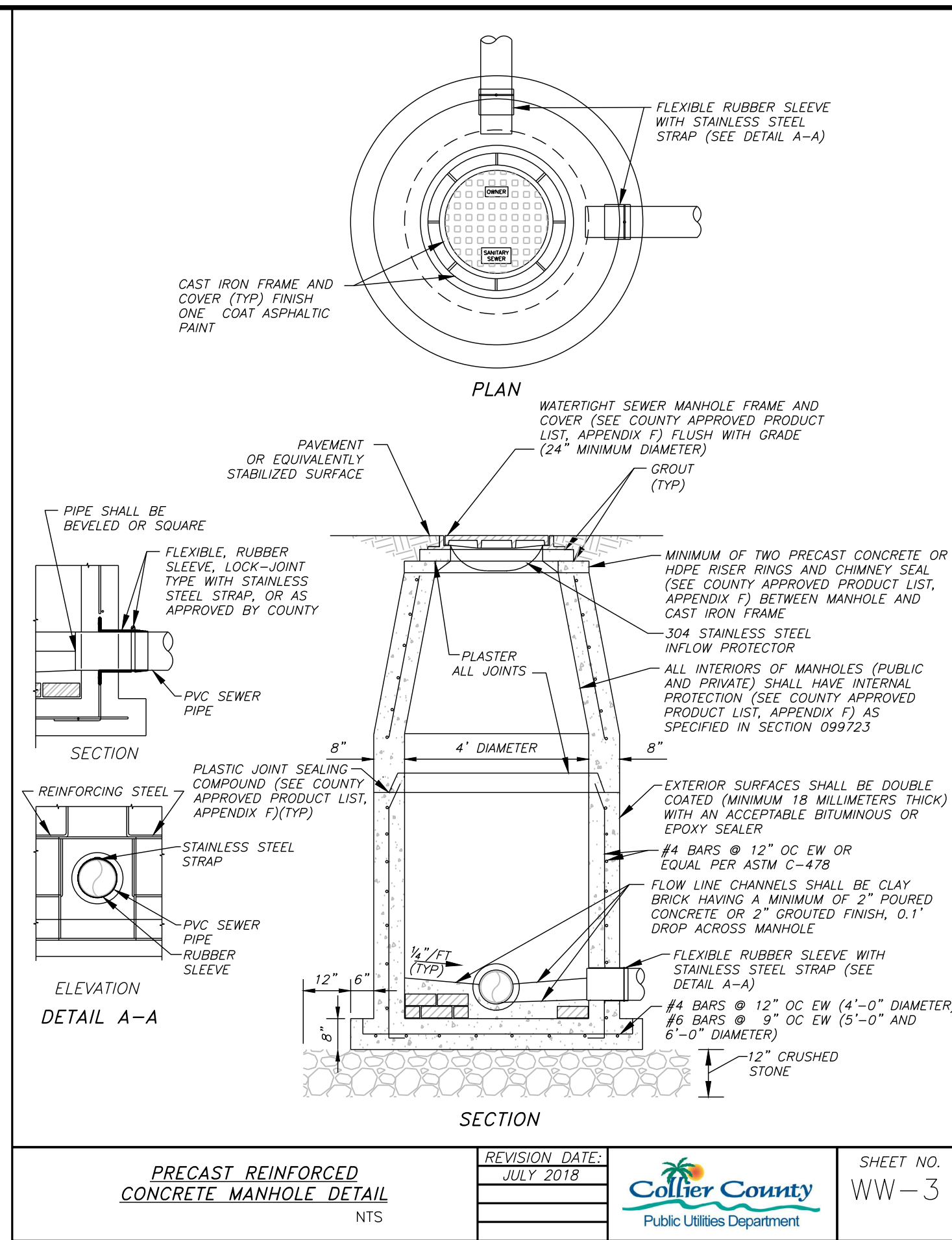
HIDDEN COVE

WATER DETAIL SHEET

ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.309

MARK W. MINOR, P.E.
FLORIDA P.E. LICENSE NO. 45324

MUNICIPALITY: COLLIER COUNTY
SEC/TOWNSHIP/RNG: 23/515/26E
DATE: JANUARY 2023
SUBMITTAL TYPE: PPL
SHEET 15 OF 17

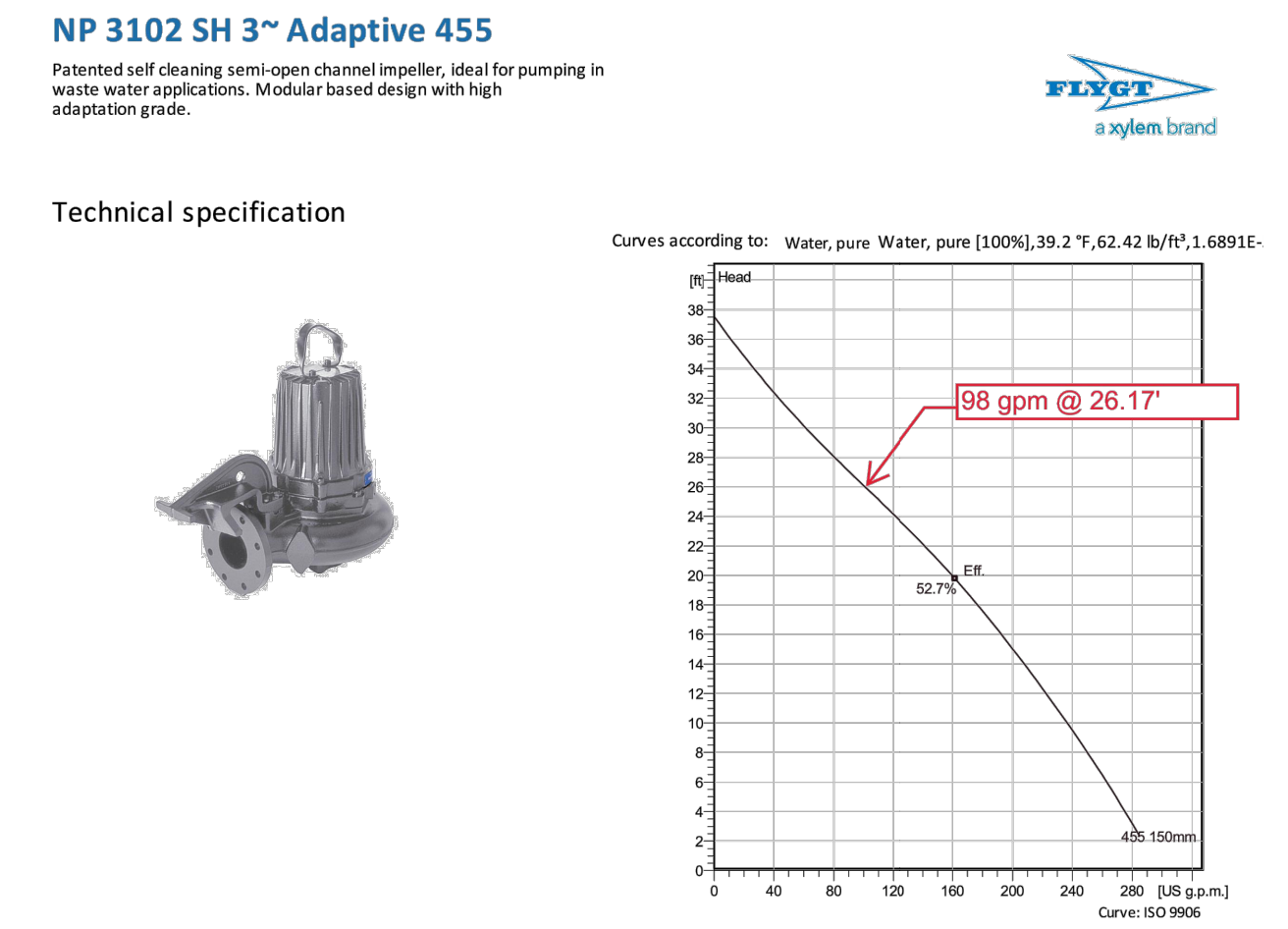
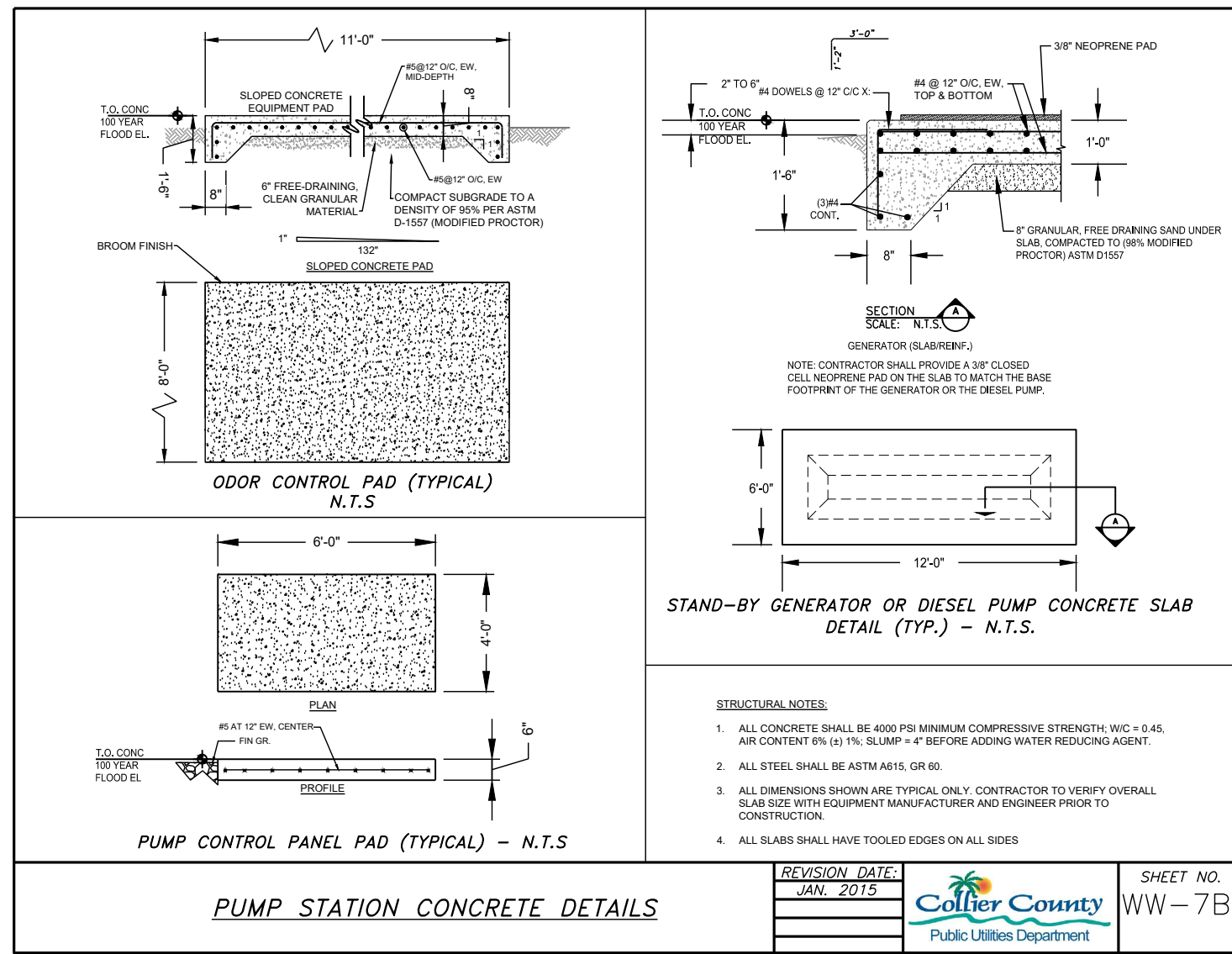
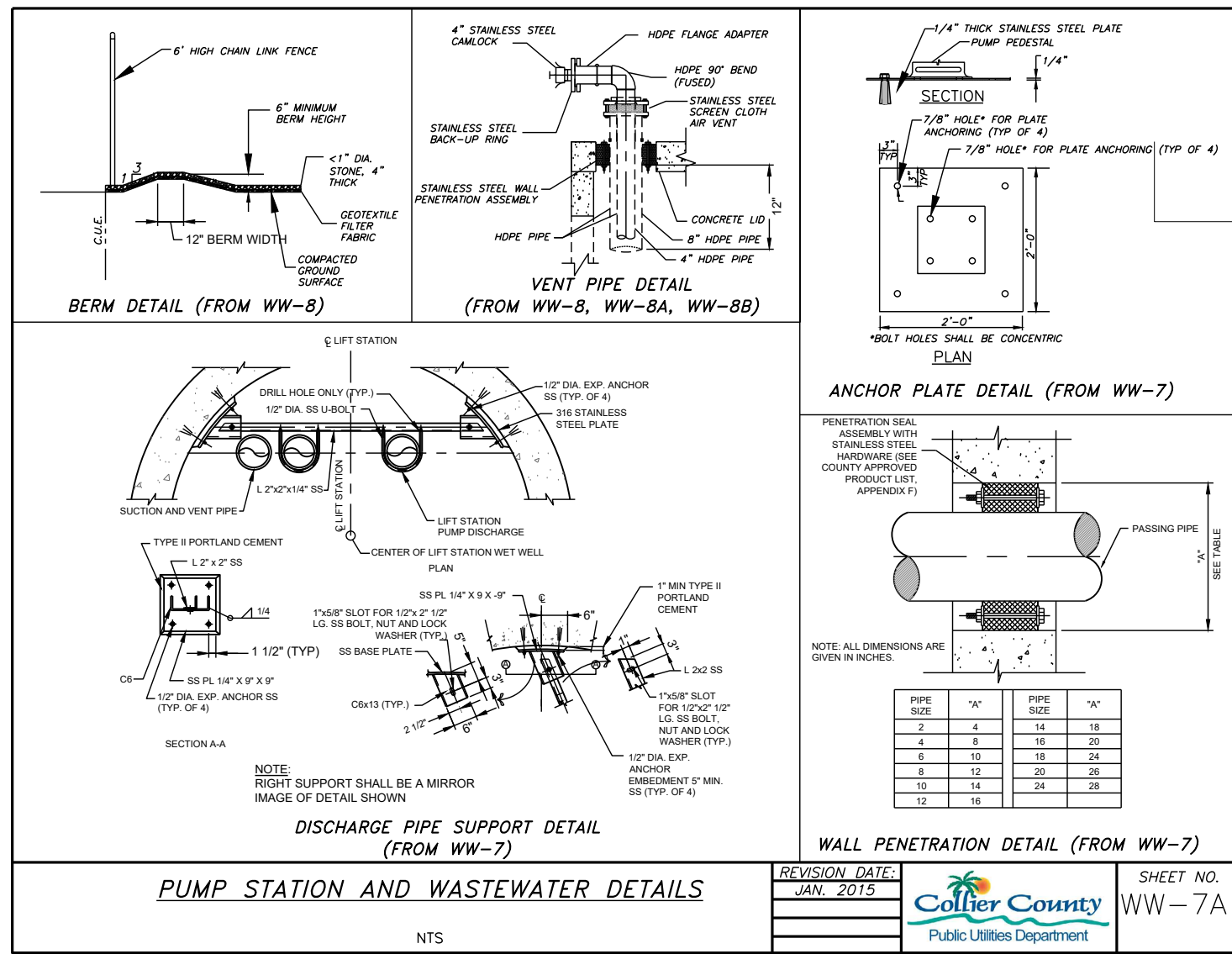
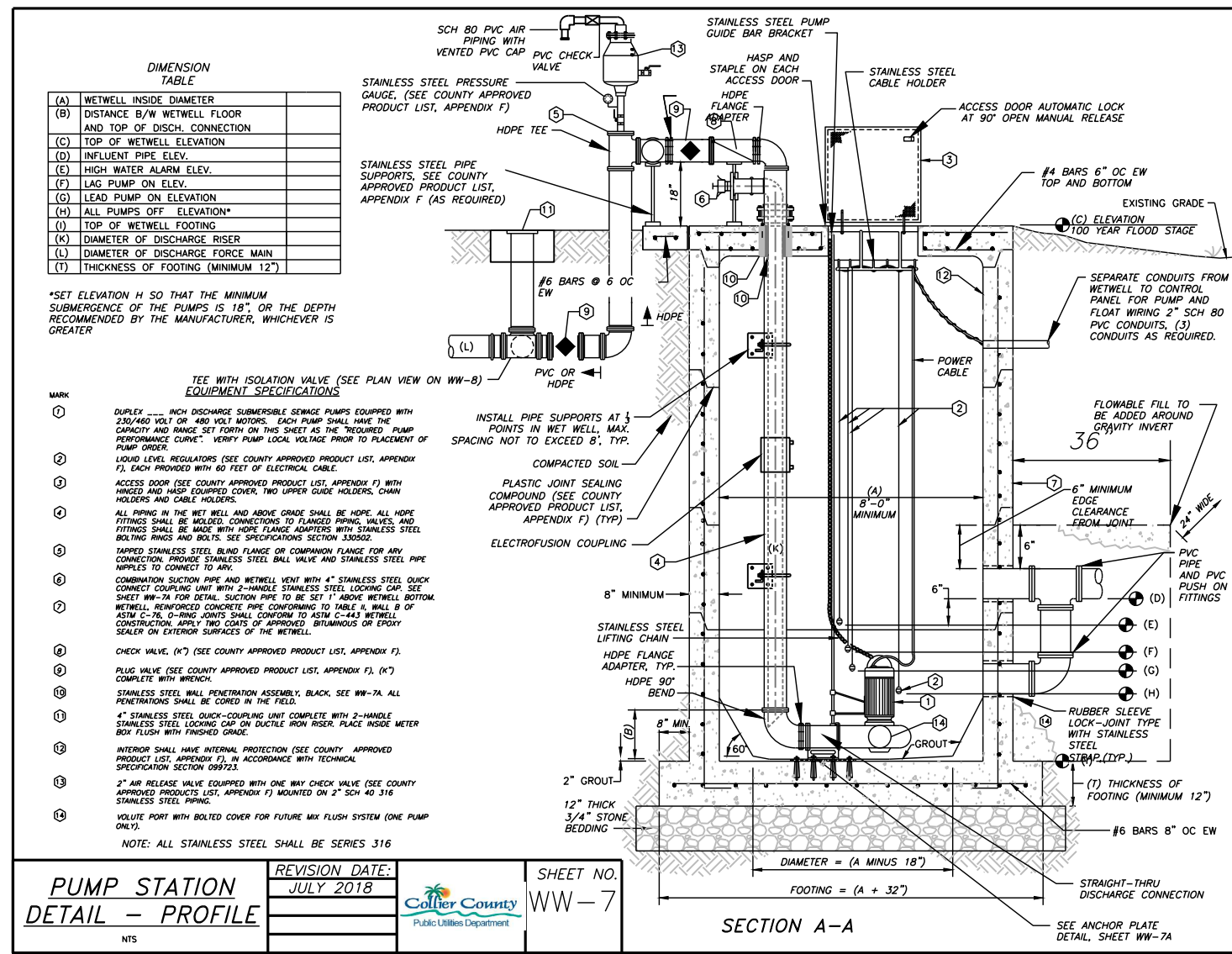


Revision	Date	Description

DESIGNED BY:	J.D.
DRAWN BY:	K.L.M.
APPROVED:	M.W.M.
JOB CODE:	FCGSP
SCALE:	AS SHOWN

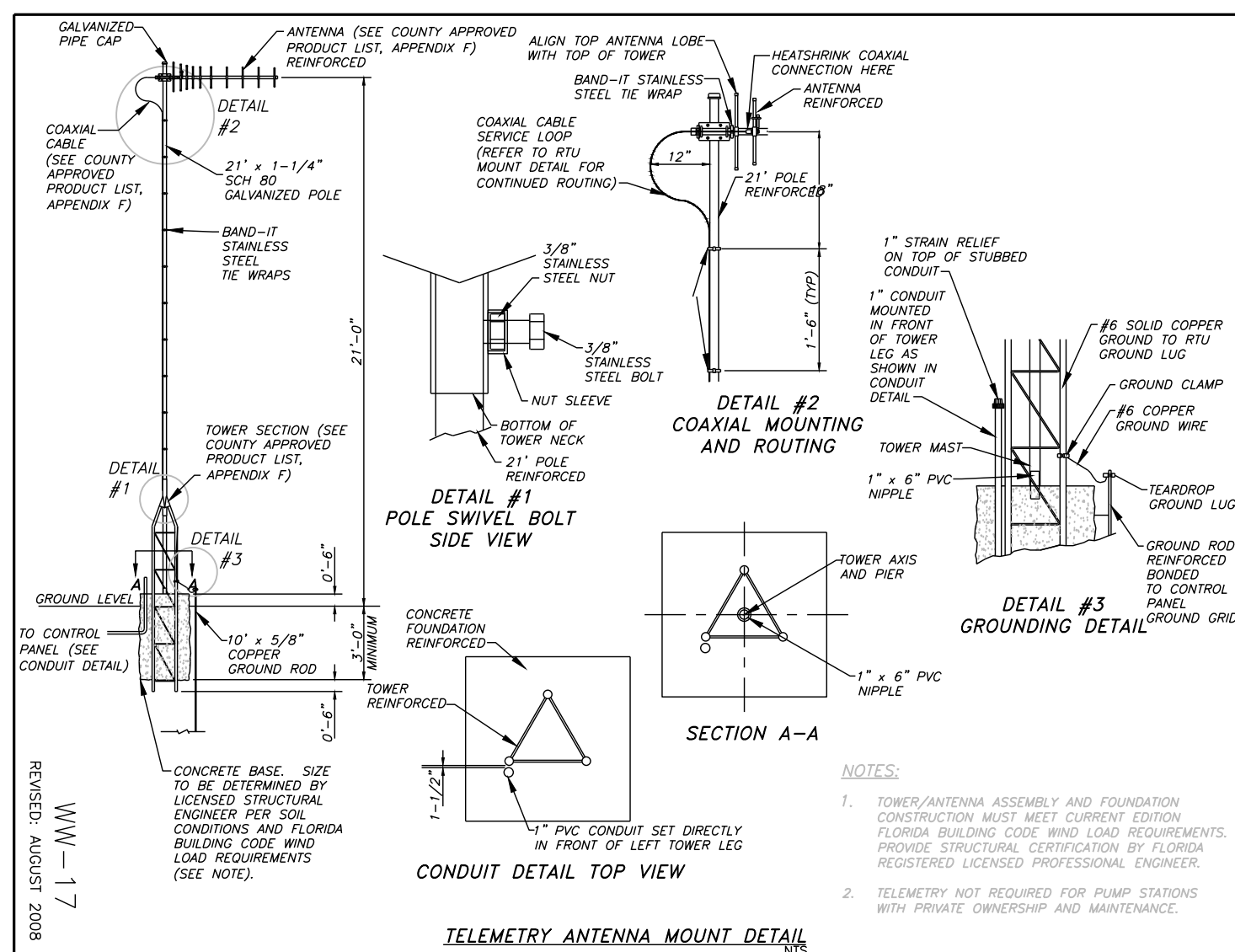
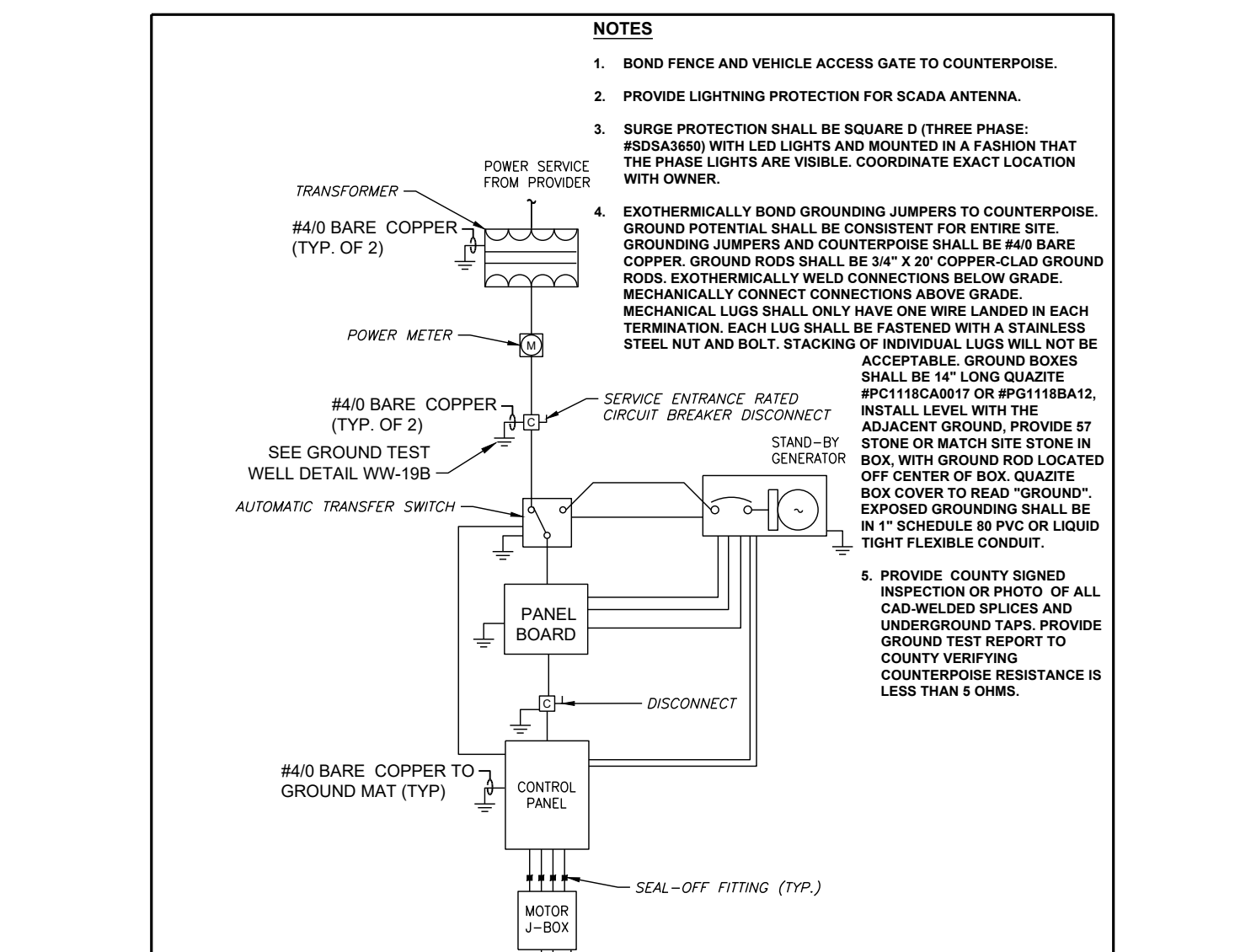
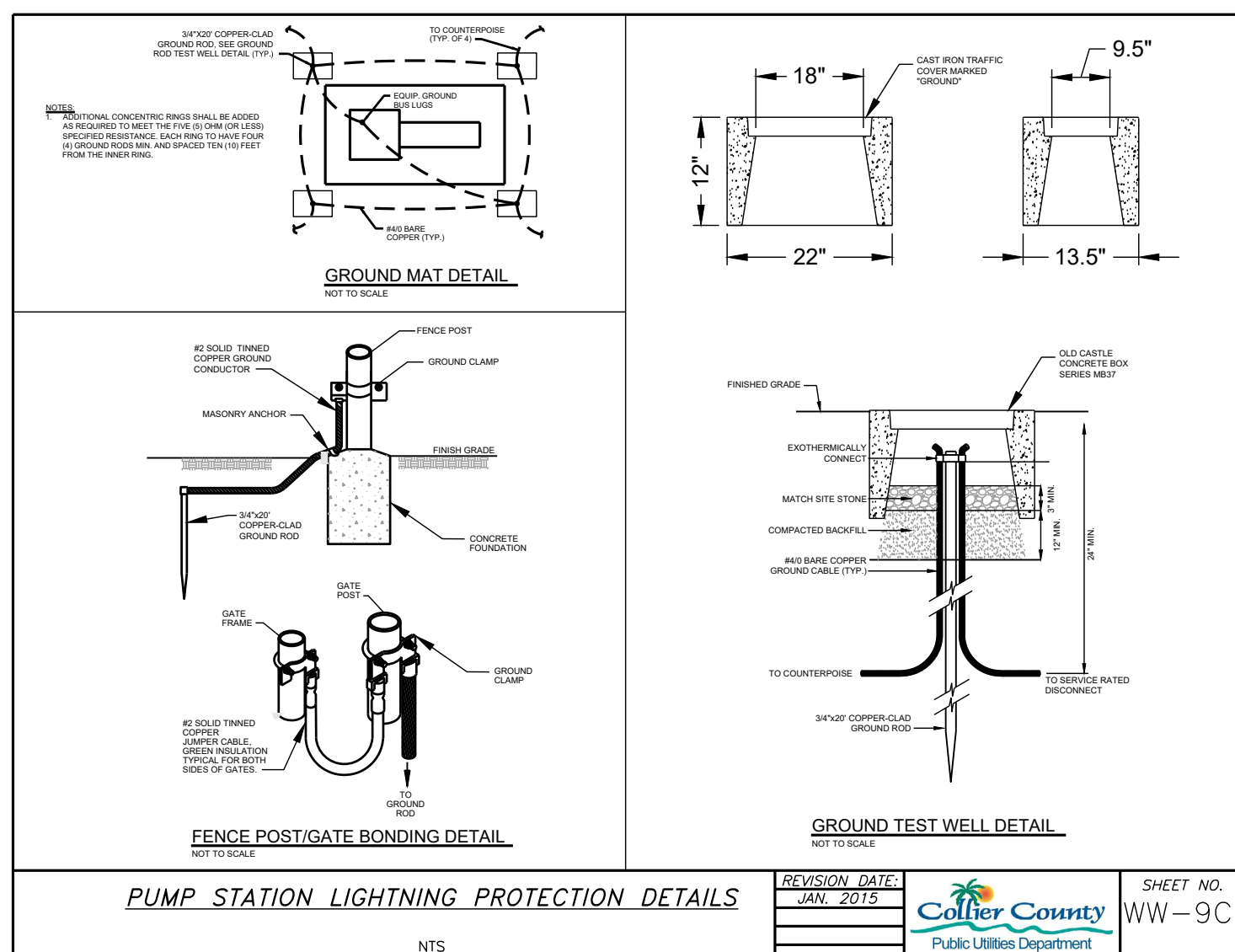
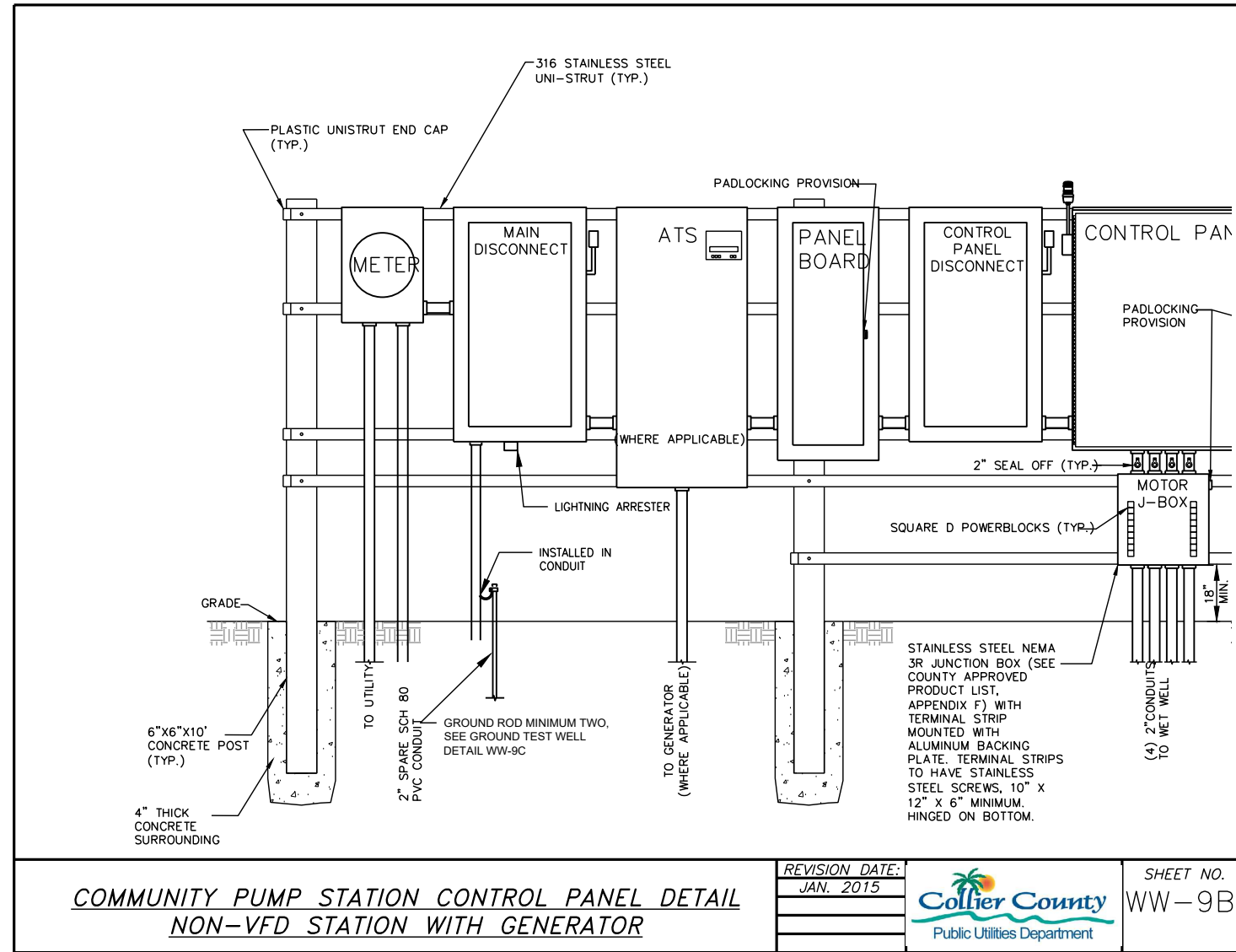
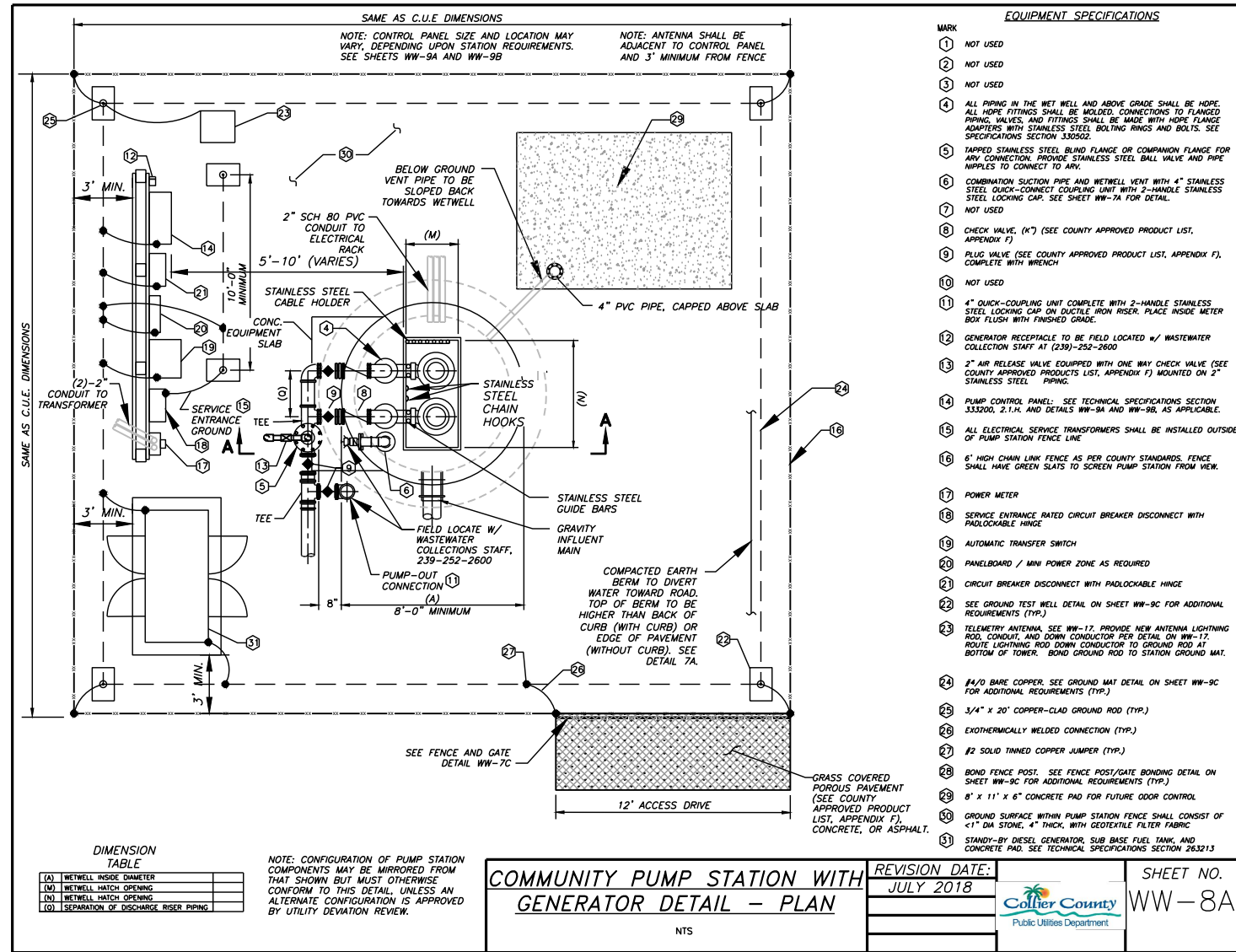
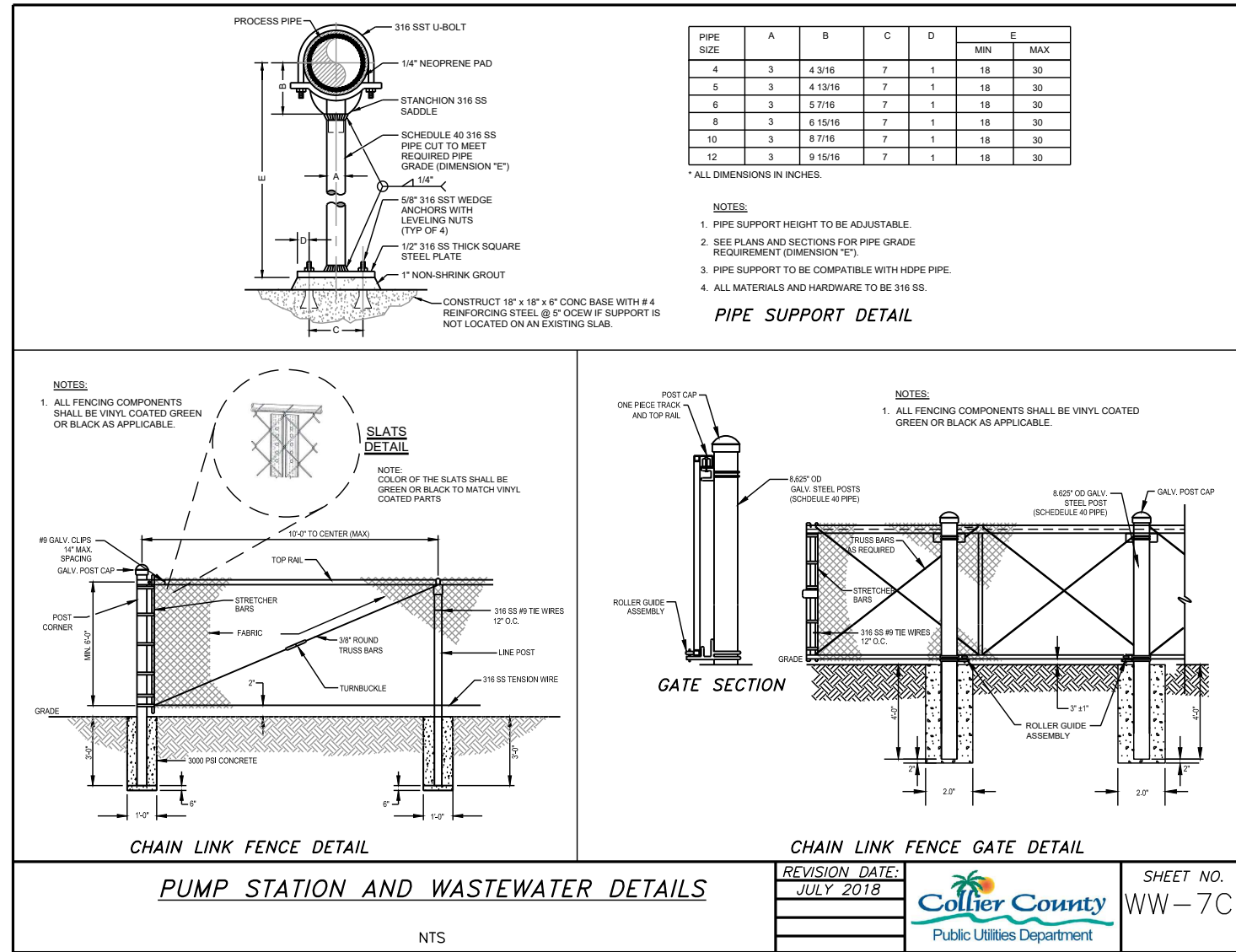
ITEM	QUANT.	DESCRIPTION
1	1	VENTER ENCLOSURE, WATER PLUS 1400 MODEL FOR 24" ARVS, WATER PLUS 1440 MODEL FOR ARV'S
2	1	AIR RELEASE VALVE, (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) 12" AND 3" THR. 4" DIA.
3	1	3/4" DIA. PVC NIPPLE, LENGTH AS REQUIRED, THR X THR (24" 3" ARV), 3/16 SST VAN STONE FLANGE (VSP) X 3/16 VSP CUT ARV
4a	UP TO 3/4"	3/16 SST BALL VALVE, FULL PORT, 3/16 SST HANDLE (18)
4b	UP TO 3/4"	3/16 SST VALVE, (SEE COUNTY APPROVED PRODUCT LIST, APPENDIX F) (FLD)
5	1	UP TO 48" ELEV. 3/16 SST (18" FOR 24" AND 3" ARV), 1/2" FOR 24" ARV
6	2	SHORT NIPPLE, 3/16 SST, (18" BOTH ENDS FOR 24" AND 3" ARV), 1/2" FOR 24" ARV
7	2	3/16 SST PIPE, LENGTH AS REQUIRED, THR CON FOR 24" AND 3" FLD CONE 24"
7a	2	3/16 SST 3480/3489 FOR 24" ARV'S, 3" - 6" HDPE PIPE, PE 3480, 36 1/2" FOR ARV'S 3" - 6"
8	1	DOUBLE STRAP TAPPING SADDLE, 3/16 SST WITH THREADED OUTLET FOR 24" & 3" ARV'S, 20" DIA. LARGER PIPE, 20" OR PVC (20-18)
9	2	1/2" CHECK VALVE, PVC, BY ARV MANUFACTURER
10	1	1/2" x 3/4" ELBOW, PVC, SCH 80, BY ARV MANUFACTURER
11	1	CONCRETE SLAB FOR ENCLOSURES, 3000 PSI CONCRETE
12	1	COMPACTED FILL PER COLLIER COUNTY TYPICAL, DETAIL: C-1
13	1	BY STONE
14	1	24" DIA. BARS CONTINUOUS X 41" DIA. BARS DIAGONAL (12" MIN COVER)
15	1	1/2" SCH 80 PVC, LENGTH AS REQUIRED
16	1	1/2" SCH 80 PVC, LENGTH AS REQUIRED
17	1	2" ALLIANCE METER BOX GARV'S 24", 18" ALLIANCE METER BOX GARV'S 24", BLACK

REVISION DATE:	JAN. 2015
SHEET NO.:	WW-13



Configuration	
Motor number	163102.060 18-11-44L-W
Installation type	P - Semi permanent, Wet
Impeller diameter	150 mm
Discharge diameter	3 inch
Pump information	
Impeller diameter	150 mm
Discharge diameter	3 inch
Inlet diameter	80 mm
Maximum operating speed	1750 rpm
Number of blades	2
Max. fluid temperature	40°C

Motor - General							
Motor number	163102.060 18-11-44L-W						
Phases	3~						
Rated speed	1750 rpm						
Rated power	5 hp						
Approval No.	6.6 A						
Number of poles	4						
Rated current	6.6 A						
Sator variant	62						
Frequency	60 Hz						
Rated voltage	460 V						
Insulation class	H						
Type of Duty	S1						
Motor - Technical							
Power factor - 1/1 Load	0.82	Motor efficiency - 1/1 Load	86.8%	Total moment of inertia	0.336 lb-ft	Starts per hour max.	30
Power factor - 3/4 Load	0.77	Motor efficiency - 3/4 Load	87.5%	Starting current, direct starting	40 A		
Power factor - 1/2 Load	0.65	Motor efficiency - 1/2 Load	86.6%	Starting current, star-delta	13.3 A		



DIMENSION TABLE	
(A) WETWELL INSIDE DIAMETER	8'
(B) DISTANCE B/W WETWELL FLOOR AND TOP OF DISCH. CONNECTION	12"
(C) TOP OF WETWELL ELEVATION	6.00
(D) INFLUENT PIPE ELEV.	-7.48
(E) HIGH WATER ALARM ELEV.	-7.98
(F) TIG PUMP ON ELEV.	-8.48
(G) LEAD PUMP ON ELEVATION	-8.98
(H) ALL PUMPS OFF & INVERT ELEV.	-9.29
(I) TOP OF WETWELL FOOTING	-10.79
(J) DIAMETER OF DISCHARGE RISER	4'
(K) DIAMETER OF DISCHARGE FORCE MAIN	4'
(L) WETWELL HATCH OPENING	30" MIN.
(M) WETWELL HATCH OPENING	48" MIN.
(N) SEPARATION OF DISCHARGE RISER PIPING	26"
(T) THICKNESS OF FOOTING (MINIMUM 12")	12"

NOTE: CONTRACTOR TO CONFIRM DIMENSIONS WITH ENGINEER & COLLIER COUNTY PRIOR TO SUBMITTAL.
SFWMD 100 YR-ZERO DISCHARGE PEAK STAGE=14.12' NAVD

LEGEND

DESIGNED BY:	J.D.		
DRAWN BY:	K.L.M.		
APPROVED:	M.W.M.		
JOB CODE:	FC6SP		
SCALE:	AS SHOWN		
Revision	Date	Description	By

GradyMinor
Civil Engineers • Land Surveyors • Planners • Landscape Architects
Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151
Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380

HIDDEN COVE
PUMP STATION DETAIL SHEET
ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88) CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.309

MUNICIPALITY: COLLIER COUNTY
SEC/TOWNSHIP/RNG: 23/51S/26E
DATE: JANUARY 2023
SUBMITTAL TYPE: PPL
SHEET 17 OF 17

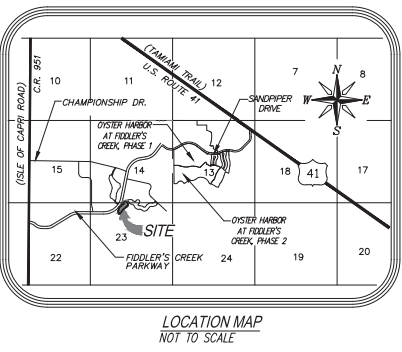
DEDICATIONS AND RESERVATIONS

- STATE OF FLORIDA COUNTY OF COLLIER
KNOW ALL MEN BY THESE PRESENTS THAT FCC HIDDEN COVE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, THE OWNER OF THE HEREOF DESCRIBED LANDS, HAS CAUSED THIS PLAT ENTITLED HIDDEN COVE AT FIDDLER'S CREEK, A SUBDIVISION LOCATED IN SECTIONS 14 AND 23, TOWNSHIP 51 SOUTH, RANGE 26 EAST, COLLIER COUNTY, FLORIDA, TO BE MADE AND USES HEREBY:
A. DEDICATE TO COLLIER COUNTY:
1. ALL DRAINAGE EASEMENTS (D.E.) WITHOUT RESPONSIBILITY FOR MAINTENANCE.
B. DEDICATE TO HIDDEN COVE VILLAGE ASSOCIATION, INC.:
1. TRACT "A" HIDDEN COVE DRIVES, AS PRIVATE ROAD RIGHT-OF-WAY (R.O.W.) SUBJECT TO THE EASEMENTS DEPICTED HEREON WITH RESPONSIBILITY FOR MAINTENANCE.
2. TRACT(S) "B", "C", "D" AS OPEN SPACE FOR LANDSCAPING, HARDSCAPE AND SIGNAGE PURPOSES SUBJECT TO THE EASEMENTS DEPICTED HEREON WITH RESPONSIBILITY FOR MAINTENANCE.
3. ALL DRAINAGE EASEMENTS (D.E.) AS DEPICTED HEREON WITHOUT RESPONSIBILITY FOR MAINTENANCE.
4. ALL BURIED/MAINTENANCE EASEMENTS (B.M./M.E.) AS DEPICTED HEREON WITH RESPONSIBILITY FOR MAINTENANCE OF THE BURIED AND ITS UTILITIES.
5. ALL LANDSCAPE BUFFER EASEMENTS (L.B.E.) AS DEPICTED HEREON WITH RESPONSIBILITY FOR MAINTENANCE.
6. ALL IRRIGATION EASEMENTS (I.R.E.) AS DEPICTED HEREON WITHOUT RESPONSIBILITY FOR MAINTENANCE.
7. ALL MAINTENANCE EASEMENTS (M.E.) AS DEPICTED HEREON WITH RESPONSIBILITY FOR MAINTENANCE.
C. DEDICATE TO ALL LICENSED OR FRANCHISED PUBLIC OR PRIVATE UTILITIES:
1. ALL MAINTENANCE EASEMENTS (M.E.) SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES, PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC TELEPHONE SERVICE IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES, THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS OWNED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
D. DEDICATE TO COLLIER COUNTY WATER-SERVER DISTRICT:
1. THAT ALL COUNTY UTILITY EASEMENTS (C.U.E.) FOR POTABLE WATER, NON-POTABLE IRRIGATION WATER AND/OR WASTEWATER SYSTEMS (OR PORTIONS THEREOF AND ACCESS AND CROSS RIGHTS, WHERE APPROPRIATE, ARE PROVIDED TO THE COLLIER COUNTY WATER-SERVER DISTRICT TO OPERATE AND MAINTAIN POTABLE WATER, NON-POTABLE IRRIGATION WATER AND/OR WASTEWATER UTILITY SYSTEMS OR PORTIONS THEREOF WITHIN THE PLATTED AREA AFTER FINAL CONFORMANCE TO THE CODES AND WHERE APPLICABLE, TO INSTALL THE CODE'S CONNECTING UTILITY FACILITIES WITHIN SUCH EASEMENTS, WITH NO RESPONSIBILITY FOR MAINTENANCE OF THE SURFACE EASEMENT AREA AND
2. APPLICABLE POTABLE WATER, NON-POTABLE IRRIGATION WATER AND/OR WASTEWATER SYSTEMS (OR PORTIONS THEREOF) CONSTRUCTED WITHIN THIS PLATTED AREA IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE COLLIER COUNTY UTILITIES STANDARDS AND PROCEDURES ORDINANCE (2004-31), AS AMENDED, SHALL BE CONVEYED TO THE BOARD AS THE EX-OFFICIO GOVERNING BOARD OF THE WATER-SERVER DISTRICT UPON ACCEPTANCE OF THE ADDITIONS, EXTENSIONS AND/OR IMPROVEMENTS REQUIRED BY THE PLAT.
E. RESERVE TO FCC HIDDEN COVE, LLC, ITS SUCCESSORS AND/OR ASSIGNS:
1. ALL FIDDLER'S CREEK SPECIAL EASEMENTS (F.C.S.E.), AS SHOWN, FOR THE PURPOSE OF LIMITING ACCESS TO LAKE TRACTS "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z", AND THEIR SUCCESSORS AND ASSIGNS THAT REQUIRE ACCESS OVER AND ACROSS SAID SPECIAL EASEMENTS IN ORDER TO PERFORM INSTALLATION AND MAINTENANCE ACTIVITIES PURSUANT TO EASEMENTS, DEDICATIONS AND RESERVATIONS ON THIS PLAT, WITH RESPONSIBILITY FOR MAINTENANCE.
2. ALL FIDDLER'S CREEK PERPETUAL EASEMENTS (F.C.P.E.) GRANTING THE FULL FREE RIGHT, POWER AND AUTHORITY TO LAKE OPERATE AND MAINTAIN SUCH DRAINAGE FACILITIES, SANITARY JOKER LINES, POTABLE AND IRRIGATION WATER LINES, STORM SEWERS, GAS AND ELECTRIC LINES, COMMUNICATION LINES, AND SUCH OTHER FACILITIES AS THE DEVELOPER MAY DEEM NECESSARY, ALONG, THROUGH, IN, OVER AND UNDER AN EASEMENT TEN (10) FEET IN WIDTH ALONG THE FRONT LINES OF ALL "SINGLE FAMILY LOTS" PROVIDED HOWEVER THAT ALL SUCH USES BY THE DEVELOPER SHALL BE SUBJECT TO, AND NOT INCONSISTENT WITH, USE BY ANY OTHER EASEMENT OR USE GRANTED HEREON. ANY FIDDLER'S CREEK PERPETUAL EASEMENT (F.C.P.E.) COVERED BY THIS RESERVATION MAY BE RELEASED, IN WHOLE OR IN PART, BY THE DEVELOPER BY THE RECORDING OF A DOCUMENT IN THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA, SO STATING, WITHOUT THE CONSENT OF, OR NOTICE TO, ANY THIRD PARTY, WITH RESPONSIBILITY FOR MAINTENANCE.
F. DEDICATE TO COLLIER COUNTY, ITS FRANCHISEES AND THE GREATER NAPLES FIRE RESCUE DISTRICT:
1. A NON-EXCLUSIVE ACCESS EASEMENT (A.E.) OVER AND ACROSS TRACT "A" FOR THE PURPOSE OF PERMITTING EMERGENCY AND OTHER SERVICE VEHICLES ACCESS, WITHOUT RESPONSIBILITY FOR MAINTENANCE.
G. DEDICATE TO FIDDLER'S CREEK COMMUNITY DEVELOPMENT DISTRICT:
1. ALL DRAINAGE EASEMENTS (D.E.) WITH RESPONSIBILITY FOR MAINTENANCE.
2. ALL IRRIGATION EASEMENTS (I.R.E.) AS DEPICTED HEREON WITH RESPONSIBILITY FOR MAINTENANCE.
3. ALL MAINTENANCE EASEMENTS (M.E.) AS DEPICTED HEREON WITHOUT RESPONSIBILITY FOR MAINTENANCE.

HIDDEN COVE AT FIDDLER'S CREEK
A REPLAT OF ALL OF TRACT "6" AND A PORTION OF TRACTS "FC-3, AND "FCG-8"
FIDDLER'S CREEK PHASE 2A, UNIT ONE, PLAT BOOK 35, PAGES 92 THROUGH 95
AND A PORTION OF TRACT "B-7C", FIDDLER'S CREEK PHASE 3, UNIT ONE, PLAT BOOK 40, PAGES 85 THROUGH 100, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA
A SUBDIVISION LOCATED IN SECTIONS 14 AND 23, TOWNSHIP 51 SOUTH, RANGE 26 EAST, COLLIER COUNTY, FLORIDA.

LEGAL DESCRIPTION

ALL OF TRACT "6" AND A PORTION OF TRACTS "FC-3, AND "FCG-8", FIDDLER'S CREEK PHASE 2A, UNIT ONE, PLAT BOOK 35, PAGES 92 THROUGH 95 AND A PORTION OF TRACT "B-7C", FIDDLER'S CREEK PHASE 3, UNIT ONE, PLAT BOOK 40, PAGES 85 THROUGH 100, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF TRACT "7-1" (RUNWAY LANE) FIDDLER'S CREEK PHASE 3, UNIT ONE, PLAT BOOK 40, PAGES 85 THROUGH 100, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA; THENCE ALONG THE SOUTHWEST FRONT-OF-WAY OF SAID TRACT "7-1" FOR THE FOLLOWING (1) COURSES AND DISTANCES: 1) WESTERLY 47.63 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE LEFT HAVING A RADIUS OF 145.00 FEET THROUGH A CENTRAL ANGLE OF 18°49'12" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 85°06'26" WEST FOR 47.41 FEET; 2) THENCE SOUTH 85°20'58" WEST, FOR 95.83 FEET TO THE POINT A POINT OF INTERSECTION SAID SOUTH FRONT-OF-WAY AND THE EXTENSION OF THE EAST SIDE OF A 20 FOOT WIDE MAINTENANCE EASEMENT WITHIN TRACT "FC-3, FIDDLER'S CREEK PHASE 2A, UNIT ONE, PLAT BOOK 35, PAGES 92 THROUGH 95, BOTH OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA AND THE POINT OF BEGINNING OF THE HEREOF DESCRIBED PARCEL;
THENCE ALONG SAID EXTENSION AND MAINTENANCE EASEMENT, SOUTH 07°46'15" EAST, FOR 86.16 FEET TO A POINT ON A CURVE; THENCE CONTINUE ALONG SAID MAINTENANCE EASEMENT FOR THE FOLLOWING (15) COURSES AND DISTANCES:
1) SOUTHERLY 33.67 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE RIGHT HAVING A RADIUS OF 300.20 FEET THROUGH A CENTRAL ANGLE OF 0°25'48" AND BEING SUBTENDED BY A CHORD WHICH BEARS SOUTH 00°33'21" EAST FOR 33.65 FEET TO A POINT OF REVERSE CURVATURE; 2) THENCE SOUTHWESTERLY 58.57 FEET ALONG THE ARC OF A REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 50.00 FEET THROUGH A CENTRAL ANGLE OF 65°16'49" AND BEING SUBTENDED BY A CHORD WHICH BEARS SOUTH 39°29'51" EAST FOR 53.94 FEET TO A POINT OF REVERSE CURVATURE; 3) THENCE SOUTHERLY 51.58 FEET ALONG THE ARC OF A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 285.00 FEET THROUGH A CENTRAL ANGLE OF 1°02'50" WEST, FOR 55.23 FEET TO A POINT OF CURVATURE; 4) THENCE SOUTHWESTERLY 62.29 FEET ALONG THE ARC OF A TANGENTIAL CURVE TO THE RIGHT HAVING A RADIUS OF 125.00 FEET THROUGH A CENTRAL ANGLE OF 2°44'32" AND BEING SUBTENDED BY A CHORD WHICH BEARS SOUTH 55°29'58" WEST FOR 61.60 FEET TO A POINT OF REVERSE CURVATURE; 5) THENCE SOUTHWESTERLY 107.68 FEET ALONG THE ARC OF A REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 140.00 FEET THROUGH A CENTRAL ANGLE OF 1°11'17" AND BEING SUBTENDED BY A CHORD WHICH BEARS SOUTH 57°52'11" WEST FOR 106.66 FEET; 6) THENCE SOUTH 46°20'21" WEST, FOR 210.74 FEET; 7) THENCE SOUTH 59°27'31" WEST, FOR 98.39 FEET; 8) THENCE SOUTH 44°30'41" WEST, FOR 208.46 FEET; 9) THENCE SOUTH 12°20'38" WEST, FOR 60.22 FEET; 10) THENCE SOUTH 30°50'20" WEST, FOR 250.45 FEET; 11) THENCE SOUTH 39°48'57" WEST, FOR 51.62 FEET; 12) THENCE SOUTH 60°11'11" WEST, FOR 53.50 FEET; 13) THENCE SOUTH 54°35'34" WEST, FOR 114.21 FEET; 14) THENCE SOUTH 60°37'16" WEST, FOR 202.8 FEET; 15) THENCE SOUTH 68°17'15" WEST, FOR 21.52 FEET TO A POINT ON THE BOUNDARY OF TRACT "7-1", FIDDLER'S CREEK PHASE 2A, UNIT ONE, PLAT BOOK 35, PAGES 92 THROUGH 95, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA; THENCE ALONG SAID BOUNDARY FOR THE FOLLOWING (11) COURSES AND DISTANCES: 1) NORTHERLY 60°18'16" EAST, FOR 11.12 FEET TO A POINT ON A CURVE; 2) THENCE NORTHERLY 83.89 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE LEFT HAVING A RADIUS OF 65.59 FEET THROUGH A CENTRAL ANGLE OF 11°03'30" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 00°23'00" WEST FOR 86.30 FEET; 3) THENCE NORTH 46°47'01" WEST, FOR 64.27 FEET TO A POINT OF CURVATURE; 4) THENCE NORTHWESTERLY 86.25 FEET ALONG THE ARC OF A TANGENTIAL CURVE TO THE RIGHT HAVING A RADIUS OF 363.76 FEET THROUGH A CENTRAL ANGLE OF 1°52'03" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 40°06'46" WEST FOR 84.08 FEET TO A POINT ON A CURVE; 5) THENCE NORTHERLY 227.34 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE RIGHT HAVING A RADIUS OF 140.00 FEET THROUGH A CENTRAL ANGLE OF 8°14'54" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 07°15'46" EAST FOR 208.69 FEET TO A POINT ON A CURVE; 6) THENCE NORTHERLY 242.79 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE LEFT HAVING A RADIUS OF 205.81 FEET THROUGH A CENTRAL ANGLE OF 6°25'20" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 12°20'38" WEST FOR 242.79 FEET TO A POINT ON A CURVE; 7) THENCE NORTHERLY 203.07 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE RIGHT HAVING A RADIUS OF 141.50 FEET THROUGH A CENTRAL ANGLE OF 8°27'13" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 57°28'18" EAST FOR 180.8 FEET; 8) THENCE NORTH 42°30'04" EAST, FOR 177.51 FEET TO A POINT ON A CURVE; 9) THENCE NORTHWESTERLY 306.3 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE RIGHT HAVING A RADIUS OF 478.84 FEET THROUGH A CENTRAL ANGLE OF 36°41'18" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 40°44'20" EAST FOR 301.09 FEET TO A POINT ON A CURVE; 10) THENCE EASTERLY 137.12 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE LEFT HAVING A RADIUS OF 133.00 FEET THROUGH A CENTRAL ANGLE OF 57°47'51" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 55°76'38" EAST FOR 126.63 FEET TO A POINT ON A CURVE; 11) THENCE NORTHERLY 126.48 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE LEFT HAVING A RADIUS OF 70.00 FEET THROUGH A CENTRAL ANGLE OF 10°07'01" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 55°70'52" WEST FOR 111.19 FEET; 12) THENCE NORTH 44°30'41" EAST, FOR 54.64 FEET; THENCE NORTH 29°22'37" EAST, FOR 41.32 FEET; THENCE NORTH 10°54'20" WEST, FOR 58.40 FEET; THENCE NORTH 04°31'02" WEST, FOR 103.90 FEET TO A POINT ON THE FRONT-OF-WAY OF RUNWAY LANE (TRACT "7-1") FIDDLER'S CREEK PHASE 3, UNIT ONE, PLAT BOOK 40, PAGES 85 THROUGH 100, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA, THE SAME BEING A POINT ON A CURVE; THENCE ALONG SAID FRONT-OF-WAY FOR ALL OF THE REMAINING COURSES AND DISTANCES: EASTERLY 180.8 FEET ALONG THE ARC OF A NON-TANGENTIAL CURVE TO THE LEFT HAVING A RADIUS OF 300.00 FEET THROUGH A CENTRAL ANGLE OF 1°11'17" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 79°54'00" EAST FOR 100.02 FEET TO A POINT OF REVERSE CURVATURE; THENCE EASTERLY 151.14 FEET ALONG THE ARC OF A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 495.00 FEET THROUGH A CENTRAL ANGLE OF 15°10'44" AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 77°53'36" EAST FOR 130.25 FEET; THENCE NORTH 85°29'58" EAST, FOR 95.83 FEET TO THE POINT OF BEGINNING OF THE PARCEL DESCRIBED HEREIN.
CONTAINING 17.87 ACRES, MORE OR LESS.



GENERAL NOTES
SEE SHEET 2

NOTICE
THIS PLAT, AS RECORDED IN ITS DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

GENERAL NOTES
SEE SHEET 2 OF 4

- COUNTY APPROVALS
COUNTY ENGINEER
THIS PLAT APPROVED BY THE GROWTH MANAGEMENT DEPARTMENT OF COLLIER COUNTY, FLORIDA, THIS DAY OF 2024, A.D.
COUNTY SURVEYOR
THIS PLAT REVIEWED BY THE COLLIER COUNTY SURVEYOR THIS DAY OF 2024, A.D.
COUNTY ATTORNEY
THIS PLAT APPROVED BY THE COLLIER COUNTY ATTORNEY THIS DAY OF 2024, A.D.

- COUNTY COMMISSION APPROVAL
STATE OF FLORIDA COUNTY OF COLLIER
THIS PLAT APPROVED FOR RECORDING IN A REGULAR OPEN MEETING BY THE BOARD OF COUNTY COMMISSIONERS OF COLLIER COUNTY, FLORIDA, THIS DAY OF 2024, A.D., PROVIDED THAT THE PLAT IS FILED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF COLLIER COUNTY, FLORIDA.
BIO: CHRIS HALL, CHAIRMAN BOARD OF COUNTY COMMISSIONERS COLLIER COUNTY, FLORIDA
IN AND FOR COLLIER COUNTY, FLORIDA

FILING RECORD
I HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED BY ME AND THAT IT COMPLES IN FORM WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES. I FURTHER CERTIFY THAT SAID PLAT WAS FILED FOR RECORD AT (AM OR P.M.) THIS DAY OF 2024, A.D., AND DULY RECORDED IN PLAT BOOK PAGE(S) OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

DONALD L. SAWTENY III, P.S.M.
CLERK OF CIRCUIT COURT & COMPTROLLER IN AND FOR COLLIER COUNTY, FLORIDA

SURVEYORS CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM A BOUNDARY SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION AS PROVIDED IN CHAPTER 177.004, FLORIDA STATUTES AND THAT THIS PLAT COMPLES WITH ALL THE REQUIREMENTS OF CHAPTER 177, PART 1, AS AMENDED, FLORIDA STATUTES. IT IS FURTHER CERTIFIED THAT ALL PERMANENT REFERENCE MONUMENTS HAVE BEEN SET PRIOR TO RECORDING OF THIS PLAT AND THAT ALL PERMANENT CORNER POINTS AND LOT CORNERS WILL BE SET PRIOR TO FINAL ACCEPTANCE OF THE REQUIRED IMPROVEMENTS.

G. GRADY MINOR AND ASSOCIATES, P.A.
DONALD L. SAWTENY III, P.S.M. #6761
Digitally signed by Donald L. Sawteny III on 2023.12.17 18:32:27 -0500
DATED

THIS INSTRUMENT WAS PREPARED BY:
DONALD L. SAWTENY III, P.S.M.

GradyMinor
Civil Engineers • Land Surveyors • Planners • Landscape Architects
3800 Via Del Rey, Bonita Springs, Florida 34134
WWW.GRADYMINOR.COM
TECH: KEVIN GEORGESON

IN WITNESS WHEREOF, FCC HIDDEN COVE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, HAS CAUSED THIS PLAT TO BE MADE AND SIGNED THIS DAY OF 2024, A.D.

OWNER: FCC HIDDEN COVE, LLC, A FLORIDA LIMITED LIABILITY COMPANY
SIGNATURE
PRINT NAME:
BIO:
PRINT NAME, TITLE:

ACKNOWLEDGMENT

STATE OF FLORIDA COUNTY OF COLLIER
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION THIS DAY OF 2024, A.D., BY SAID ENTITIES. HE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED AS IDENTIFICATION.
SIGNATURE OF PERSON TAKING ACKNOWLEDGMENT
NAME OF ACKNOWLEDGER (TYPED, PRINTED OR STAMPED) (SEAL)

MORTGAGEE CONSENT AND JOINER
FIRST HORIZON BANK, A TENNESSEE BANKING CORPORATION
FIRST HORIZON BANK, A TENNESSEE BANKING CORPORATION
BIO:
PRINT NAME, TITLE:

STATE OF FLORIDA COUNTY OF COLLIER
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION THIS DAY OF 2024, A.D., BY SAID ENTITIES. HE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED AS IDENTIFICATION.
SIGNATURE OF PERSON TAKING ACKNOWLEDGMENT
NAME OF ACKNOWLEDGER (TYPED, PRINTED OR STAMPED) (SEAL)

2023 SURVEY PROJECT SURVEY 2023.15 - HIDDEN COVE (PARCEL 0) (CEP35) (PLAT 03-15-FL006)

GENERAL NOTES

1. BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM ESTABLISHED BY THE NATIONAL GEODETIC SURVEY FOR FLORIDA EAST ZONE, 1983 DATUM WITH 2011 ADJUSTMENT OBTAINED UTILIZING RTK GPS OBSERVATIONS ON THE 1200 NETWORK AND REFER TO THE SOUTH RIGHT-OF-WAY OF RUNWAY LANE (TRACT "R-1") FIDDLER'S CREEK PHASE 3, UNIT ONE, PLAT BOOK 40, PAGES 85 THROUGH 100, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA, AS BEING N 85°28'58" E.
2. DIMENSIONS SHOWN HEREON ARE IN UNITED STATES SURVEY FEET AND DECIMALS THEREOF.
3. ALL CURVES ARE CIRCULAR.
4. ALL LOT LINES ARE RADIAL TO THE P.O.M. UNLESS OTHERWISE SHOWN.
5. LEGEND

- FOUND 5/8" IRON ROD WITH CAP P.M. LB 1772
- P.M. = PERMANENT REFERENCE MONUMENT (SET 5/8" X 18" IRON ROD WITH CAP P.M. LB#5151)
- P.C.P. = PERMANENT CONTROL POINT (SET P.K. NAIL AND DISK, P.C.P., LB#5151)
- P.B. = PLAT BOOK
- O.R. = OFFICIAL RECORDS BOOK
- P.C. = PAGE(S)
- (N) = NON-RADIAL
- (R.O.W.) = RIGHT-OF-WAY
- (C.U.E.) = COUNTY UTILITY EASEMENT
- (P.U.E.) = PUBLIC UTILITY EASEMENT
- (A.E.) = ACCESS EASEMENT
- (D.E.) = DRAINAGE EASEMENT
- (B.M.E.) = BULKHEAD MAINTENANCE EASEMENT
- (M.E.) = MAINTENANCE EASEMENT
- (F.C.S.E.) = FIDDLER'S CREEK SPECIAL EASEMENT
- (L.B.E.) = LANDSCAPE BUFFER EASEMENT
- (I.R.E.) = IRRIGATION EASEMENT
- (P.O.C.) = POINT OF COMMENCEMENT
- (P.O.B.) = POINT OF BEGINNING

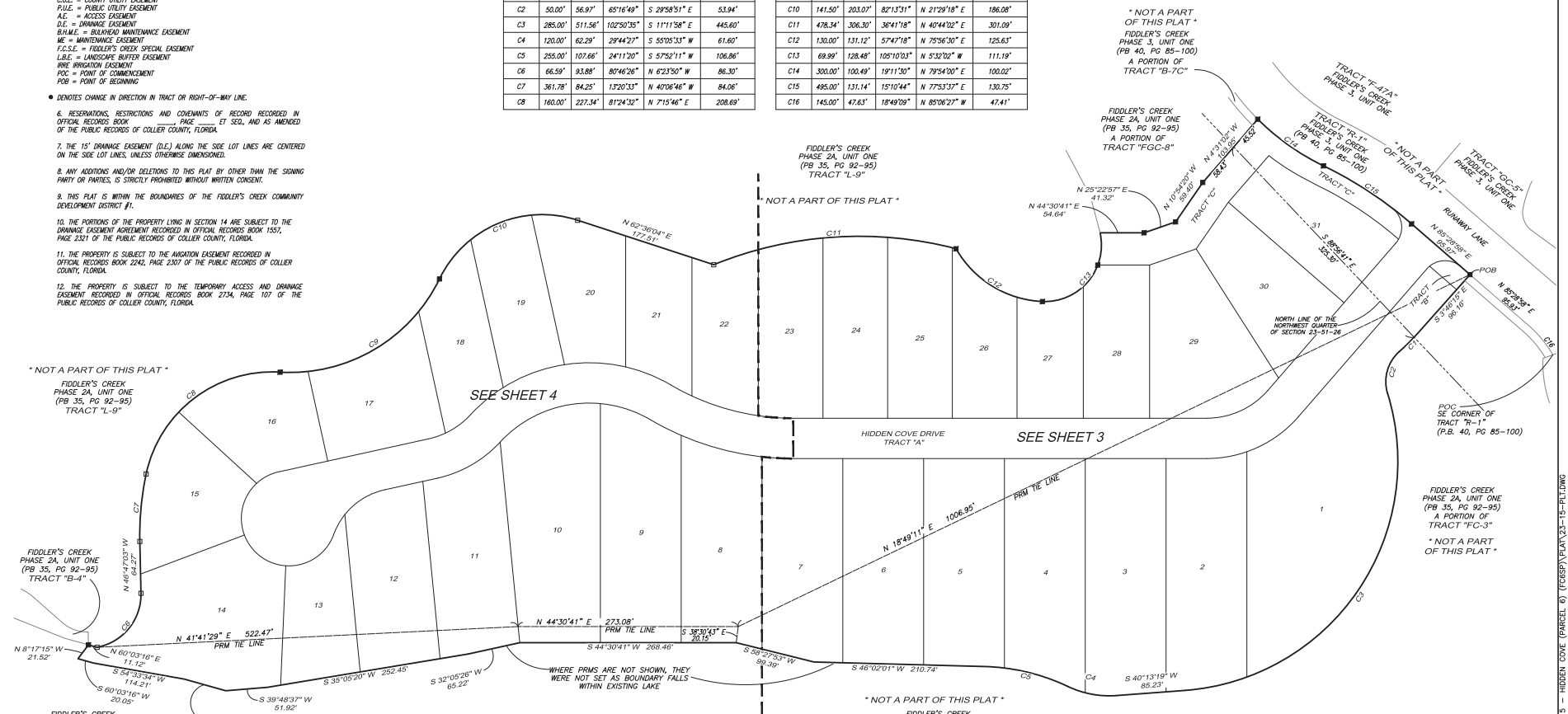
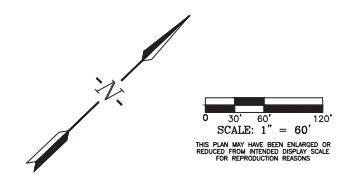
- DENOTES CHANGE IN DIRECTION IN TRACT OR TRIGHT-OF-WAY LINE.
- 6. RESERVATIONS, RESTRICTIONS AND COMMENTS OF RECORD RECORDED IN OFFICIAL RECORDS BOOK → PAGE → CT, SD, AND AS AMENDED OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.
- 7. THE 15' DRAINAGE EASEMENT (D.E.) ALONG THE SIDE LOT LINES ARE CENTERED ON THE SIDE LOT LINES, UNLESS OTHERWISE DIMENSIONED.
- 8. ANY ADDITIONS AND/OR DELETIONS TO THIS PLAT BY OTHER THAN THE SIGNING PARTY OR PARTIES, IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT.
- 9. THIS PLAT IS WITHIN THE BOUNDARIES OF THE FIDDLER'S CREEK COMMUNITY DEVELOPMENT DISTRICT #1.
- 10. THE PORTIONS OF THE PROPERTY LYING IN SECTION 14 ARE SUBJECT TO THE DRAINAGE EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 1557, PAGE 2321 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.
- 11. THE PROPERTY IS SUBJECT TO THE AVIGATION EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 2242, PAGE 2307 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.
- 12. THE PROPERTY IS SUBJECT TO THE TEMPORARY ACCESS AND DRAINAGE EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 2234, PAGE 107 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

HIDDEN COVE AT FIDDLER'S CREEK

A REPLAT OF ALL OF TRACT "6" AND A PORTION OF TRACTS "FC-3, AND "FCG-8" FIDDLER'S CREEK PHASE 2A, UNIT ONE, PLAT BOOK 35, PAGES 92 THROUGH 95 AND A PORTION OF TRACT "B-7C", FIDDLER'S CREEK PHASE 3, UNIT ONE, PLAT BOOK 40, PAGES 85 THROUGH 100, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA A SUBDIVISION LOCATED IN SECTIONS 14 AND 23, TOWNSHIP 51 SOUTH, RANGE 26 EAST, COLLIER COUNTY, FLORIDA.

CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	300.00'	33.67'	6°25'48"	S 73°32'1" E	33.65'
C2	500.00'	56.97'	65°16'49"	S 29°58'51" E	53.94'
C3	285.00'	311.56'	102°30'35"	S 11°11'58" E	445.60'
C4	120.00'	62.29'	29°44'27"	S 55°05'33" W	61.60'
C5	255.00'	107.66'	24°11'20"	S 57°52'11" W	106.86'
C6	66.50'	93.88'	80°46'26"	N 62°35'0" W	86.30'
C7	361.78'	84.25'	13°20'33"	N 40°06'46" W	84.06'
C8	160.00'	227.34'	81°24'32"	N 71°5'46" E	208.69'

CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C9	205.81'	242.79'	67°35'30"	N 14°10'17" E	228.96'
C10	141.50'	203.07'	82°13'31"	N 21°29'18" E	186.08'
C11	478.34'	306.30'	36°41'18"	N 47°44'02" E	301.09'
C12	130.00'	131.12'	57°47'18"	N 75°56'30" E	125.63'
C13	69.99'	128.48'	105°10'03"	N 5°32'02" W	111.19'
C14	300.00'	100.49'	19°11'30"	N 79°54'00" E	100.02'
C15	495.00'	131.14'	15°10'44"	N 77°33'33" E	130.75'
C16	145.00'	47.63'	18°49'09"	N 85°06'27" W	47.41'



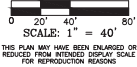
THIS INSTRUMENT WAS PREPARED BY:
DONALD L. SAINTENY III, P.E.S.M.

GradyMinor
Civil Engineers • Land Surveyors • Planners • Landscape Architects
Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151 Business Lic. 200000266
Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380
TECH: KEVIN GEORGESON JOB CODE: FCPE FILE: 23-15-PL-DWG

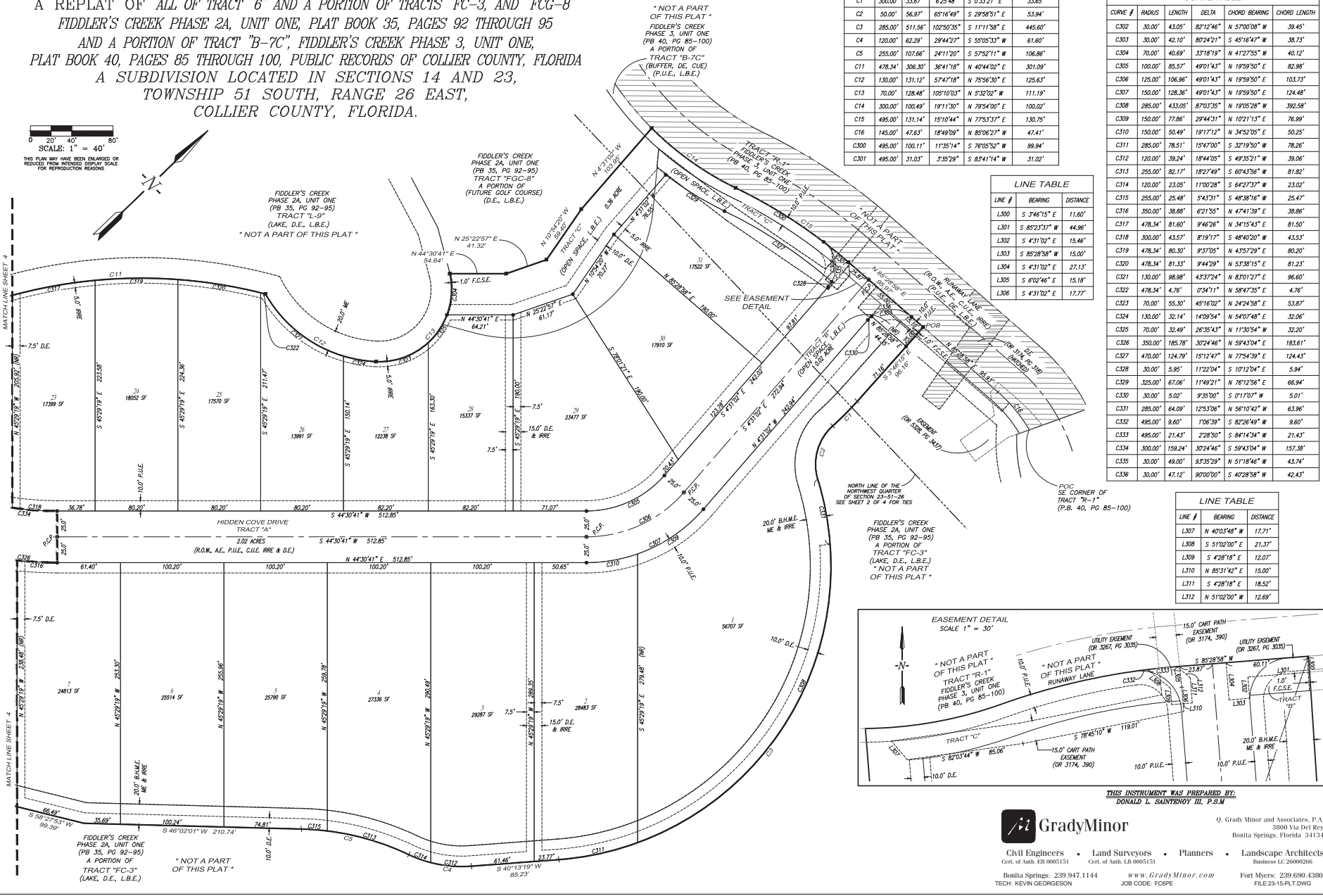
SURVEY PROJECT SURVEY 2023.15.1 HIDDEN COVE (PARCEL 0) (FCG) PLAT 23-15-PL-DWG

HIDDEN COVE AT FIDDLER'S CREEK

A REPLAT OF ALL OF TRACT "6" AND A PORTION OF TRACTS "FC-3, AND "FCG-8"
 FIDDLER'S CREEK PHASE 2A, UNIT ONE, PLAT BOOK 35, PAGES 92 THROUGH 95
 AND A PORTION OF TRACT "B-7C", FIDDLER'S CREEK PHASE 3, UNIT ONE,
 PLAT BOOK 40, PAGES 85 THROUGH 100, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA
 A SUBDIVISION LOCATED IN SECTIONS 14 AND 23,
 TOWNSHIP 51 SOUTH, RANGE 26 EAST,
 COLLIER COUNTY, FLORIDA.



THIS PLAN MAY HAVE BEEN ENLARGED OR REDUCED FROM INTENDED DISPLAY SCALE FOR REPRODUCTION READING.

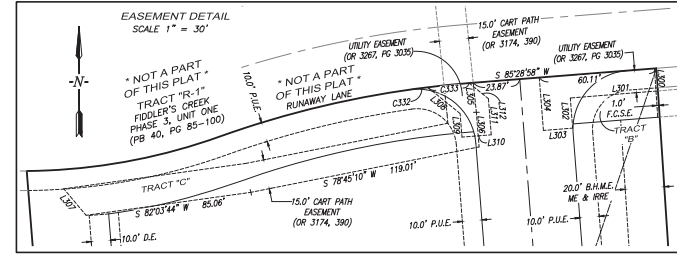


CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	300.00'	33.67'	62°548'	S 033°21' E	33.65'
C2	50.00'	56.97'	65°16'48"	S 29°58'51" E	53.94'
C3	285.00'	571.56'	102°50'35"	S 11°17'58" E	445.60'
C4	120.00'	62.29'	29°44'29"	S 55°05'33" W	61.60'
C5	255.00'	107.66'	24°11'20"	S 57°52'11" W	106.86'
C11	478.34'	306.30'	36°41'18"	N 40°44'02" E	301.09'
C12	130.00'	131.12'	57°47'18"	N 79°56'10" E	125.63'
C13	70.00'	128.48'	105°10'03"	N 53°02'02" W	111.19'
C14	300.00'	100.49'	19°11'30"	N 79°54'00" E	100.02'
C15	495.00'	131.14'	15°10'44"	N 77°53'37" E	130.75'
C16	145.00'	47.63'	18°49'09"	N 85°06'27" W	47.41'
C300	495.00'	100.11'	11°35'14"	S 78°05'52" W	99.94'
C301	495.00'	31.03'	3°39'29"	S 83°41'14" W	31.02'

LINE TABLE		
LINE #	BEARING	DISTANCE
L300	S 3°46'15" E	11.60'
L301	S 85°23'19" W	44.96'
L302	S 4°31'02" E	15.46'
L303	S 85°28'58" W	15.00'
L304	S 4°31'02" E	27.13'
L305	S 6°02'46" E	15.18'
L306	S 4°31'02" E	17.77'

CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C302	30.00'	43.05'	82°12'46"	N 57°00'08" W	39.45'
C303	30.00'	42.10'	80°24'21"	S 45°14'47" W	38.73'
C304	70.00'	40.69'	33°18'19"	N 41°27'55" W	40.12'
C305	100.00'	85.57'	49°01'43"	N 19°59'50" E	82.98'
C306	125.00'	106.96'	49°01'43"	N 19°59'50" E	103.73'
C307	150.00'	128.36'	49°01'43"	N 19°59'50" E	124.48'
C308	285.00'	433.05'	87°03'35"	N 19°05'28" W	392.58'
C309	150.00'	77.86'	29°44'31"	N 102°11'13" E	76.99'
C310	150.00'	50.49'	19°17'12"	N 34°52'05" E	50.25'
C311	285.00'	78.51'	15°47'00"	S 2°19'50" W	78.26'
C312	120.00'	39.24'	18°44'55"	S 49°35'21" W	39.06'
C313	255.00'	82.17'	18°27'49"	S 60°43'56" W	81.82'
C314	120.00'	23.05'	11°00'28"	S 64°27'37" W	23.02'
C315	255.00'	25.48'	5°43'31"	S 48°38'16" W	25.47'
C316	300.00'	38.88'	6°21'55"	N 47°41'39" E	38.86'
C317	478.34'	81.60'	9°46'26"	N 34°15'43" E	81.50'
C318	300.00'	43.57'	8°10'17"	S 48°40'20" W	43.53'
C319	478.34'	80.30'	9°37'08"	N 43°57'29" E	80.20'
C320	478.34'	81.33'	9°44'29"	N 53°58'15" E	81.23'
C321	130.00'	98.88'	43°37'24"	N 83°01'27" E	96.60'
C322	478.34'	4.76'	0°34'11"	N 58°43'35" E	4.76'
C323	70.00'	55.30'	45°16'02"	N 24°24'58" E	53.87'
C324	130.00'	32.14'	14°09'54"	N 54°07'48" E	32.06'
C325	70.00'	32.40'	26°35'43"	N 11°30'54" W	32.20'
C326	300.00'	185.78'	30°24'46"	N 59°43'04" E	183.61'
C327	470.00'	124.79'	15°12'47"	N 77°54'39" E	124.43'
C328	30.00'	5.95'	11°22'04"	S 10°12'04" E	5.94'
C329	325.00'	67.06'	11°49'21"	N 76°12'56" E	66.94'
C330	30.00'	5.02'	9°35'00"	S 01°17'07" W	5.01'
C331	285.00'	64.20'	12°53'06"	N 58°10'42" W	63.96'
C332	495.00'	8.60'	1°06'29"	S 82°26'49" W	9.60'
C333	495.00'	21.43'	2°28'50"	S 84°14'34" W	21.43'
C334	300.00'	159.24'	30°24'46"	S 59°43'04" W	157.38'
C335	30.00'	49.00'	83°35'29"	N 51°18'46" W	43.74'
C336	30.00'	47.12'	80°00'00"	S 40°28'58" W	42.43'

LINE TABLE		
LINE #	BEARING	DISTANCE
L307	N 40°02'48" W	17.71'
L308	S 51°02'00" E	21.37'
L309	S 4°28'18" E	12.07'
L310	N 85°31'42" E	15.00'
L311	S 4°28'18" E	18.52'
L312	N 51°02'00" W	12.69'



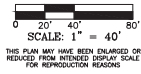
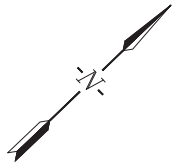
THIS INSTRUMENT WAS PREPARED BY:
 DONALD L. SAINTENOV III, P.E., S.M.

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 FILE 23-15-PLT.DWG

S:\SURVEY\PROJECT SURVEY 2023\15 - HIDDEN COVE (PARCEL 0) (FCG) PLAT 23-15-PLT.DWG

HIDDEN COVE AT FIDDLER'S CREEK

A REPLAT OF ALL OF TRACT "6" AND A PORTION OF TRACTS "FC-3, AND "FCG-8"
FIDDLER'S CREEK PHASE 2A, UNIT ONE, PLAT BOOK 35, PAGES 92 THROUGH 95
AND A PORTION OF TRACT "B-7C", FIDDLER'S CREEK PHASE 3, UNIT ONE,
PLAT BOOK 40, PAGES 85 THROUGH 100, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA
A SUBDIVISION LOCATED IN SECTIONS 14 AND 23,
TOWNSHIP 51 SOUTH, RANGE 26 EAST,
COLLIER COUNTY, FLORIDA.



CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C6	66.59'	93.88'	87°46'28"	N 42°3'50" W	86.30'
C7	361.78'	84.25'	13°20'33"	N 40°06'46" W	84.06'
C8	160.00'	227.34'	81°24'33"	N 7°15'46" E	208.69'
C9	205.81'	242.79'	67°35'30"	N 14°10'17" E	228.06'
C10	141.50'	203.07'	82°13'31"	N 21°29'18" E	186.08'
C11	478.34'	306.30'	35°41'18"	N 40°44'02" E	301.02'

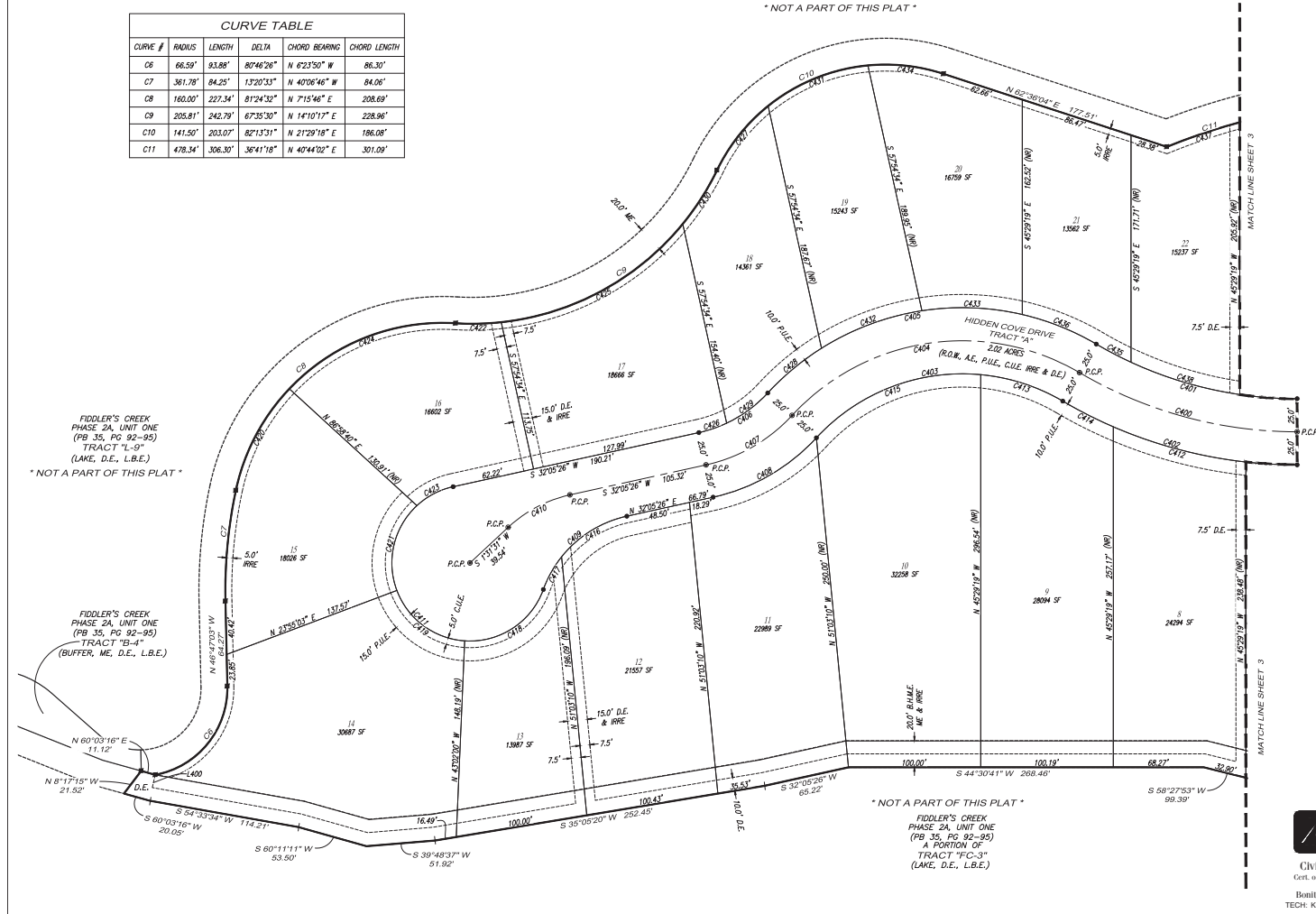
FIDDLER'S CREEK
PHASE 2A, UNIT ONE
(PB 35, PG 92-95)
TRACT "L-9"
(LAKE, D.E., L.B.E.)
* NOT A PART OF THIS PLAT *

CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH	
C400	325.00'	172.51'	30°24'46"	N 59°43'04" E	170.49'	
C401	300.00'	159.24'	30°24'46"	N 59°43'04" E	157.38'	
C402	350.00'	185.78'	30°24'46"	N 59°43'04" E	183.61'	
C403	150.00'	203.57'	77°45'32"	S 36°02'41" W	188.31'	
C404	175.00'	237.50'	77°45'32"	S 36°02'41" W	219.69'	
C405	200.00'	271.43'	77°45'32"	S 36°02'41" W	251.07'	
C406	100.00'	60.96'	34°55'32"	N 14°37'40" E	60.02'	
C407	125.00'	76.20'	34°55'32"	N 14°37'40" E	75.02'	
C408	150.00'	91.43'	34°55'32"	N 14°37'40" E	90.03'	
C409	87.00'	87.62'	57°42'26"	S 31°14'13" W	83.97'	
C410	100.00'	100.00'	53.35'	S 30°33'56"	S 16°48'28" W	52.72'
C411	59.00'	244.78'	23°42'26"	S 86°45'47" E	103.35'	
C412	350.00'	104.06'	17°02'06"	N 59°23'39" E	103.68'	
C413	150.00'	65.68'	25°05'18"	N 62°22'48" E	65.16'	
C414	350.00'	42.84'	7°00'45"	N 71°25'05" E	42.81'	
C415	150.00'	137.89'	52°40'14"	N 23°30'02" E	133.09'	
C416	87.00'	59.22'	39°00'14"	N 12°35'19" W	58.09'	
C417	87.00'	28.40'	18°42'12"	N 16°15'54" W	28.23'	
C418	59.00'	76.21'	74°00'48"	N 11°23'24" E	71.03'	
C419	59.00'	67.47'	65°31'15"	N 81°09'26" E	63.85'	
C420	160.00'	87.85'	31°27'29"	N 17°42'45" E	86.75'	
C421	59.00'	69.86'	67°50'17"	S 32°09'48" E	65.85'	
C422	205.81'	34.59'	9°17'43"	N 43°09'12" E	34.55'	
C423	59.00'	31.24'	30°20'06"	S 16°55'23" W	30.87'	
C424	160.00'	139.49'	49°57'03"	N 22°59'30" E	135.11'	
C425	205.81'	160.08'	44°33'49"	N 16°03'26" E	156.07'	
C426	100.00'	22.19'	12°42'32"	S 25°44'00" W	22.15'	
C427	141.50'	62.63'	25°21'31"	N 6°56'38" W	62.12'	
C428	200.00'	53.01'	15°11'15"	S 44°42'32" W	52.86'	
C429	100.00'	38.77'	22°12'40"	S 81°16'15" W	38.52'	
C430	205.81'	48.13'	13°24'01"	N 12°55'29" W	48.02'	
C431	141.50'	82.52'	33°24'42"	N 22°26'26" E	81.35'	
C432	200.00'	81.56'	23°21'58"	S 24°02'08" W	81.00'	
C433	200.00'	76.38'	21°52'59"	N 46°39'36" W	75.92'	
C434	141.50'	57.92'	23°27'09"	S 50°52'26" E	57.52'	
C435	300.00'	29.63'	5°39'31"	S 72°05'42" W	29.62'	
C436	200.00'	60.47'	17°19'23"	S 66°15'46" W	60.24'	
C437	478.34'	58.32'	6°59'06"	N 25°52'56" E	58.28'	
C438	300.00'	86.04'	16°25'58"	S 61°02'57" W	85.75'	

LINE TABLE		
LINE #	BEARING	DISTANCE
L400	N 32°41'35" W	10.01'

THIS INSTRUMENT WAS PREPARED BY:
DONALD E. SAINTENOV III, P.E., S.M.

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 TECH: KEVIN GEORGESON JOB CODE: FC6PE FILE: 25-PL-DWG



SURVEY PROJECT SURVEY 2023.15 - HIDDEN COVE (PARCEL ©) (FC6PE) PLAT 23-15-PL-DWG

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1**

**STAFF
REPORTS
B**

FIDDLER’S CREEK COMMUNITY DEVELOPMENT DISTRICT #1		
BOARD OF SUPERVISORS FISCAL YEAR 2023/2024 MEETING SCHEDULE		
LOCATION		
<i>Fiddler’s Creek Club and Spa, 3470 Club Center Boulevard, Naples, Florida 34114</i>		
DATE	POTENTIAL DISCUSSION/FOCUS	TIME
October 25, 2023	Regular Meeting	8:00 AM
November 8, 2023* CANCELED	Regular Meeting	8:00 AM
December 13, 2023*	Regular Meeting	8:00 AM
January 5, 2024	Attorney Client Executive Session	9:00 AM
January 24, 2024	Regular Meeting	8:00 AM
February 23, 2024	Special Meeting and Attorney Client Executive Session	8:00 AM
February 28, 2024	Regular Meeting	8:00 AM
March 27, 2024	Regular Meeting	8:00 AM
April 24, 2024	Regular Meeting	8:00 AM
May 22, 2024	Regular Meeting	8:00 AM
June 26, 2024	Regular Meeting	8:00 AM
July 24, 2024	Regular Meeting	8:00 AM
August 28, 2024	Public Hearing & Regular Meeting	8:00 AM
September 25, 2024	Regular Meeting	8:00 AM

***Exceptions**

*November meeting date is two weeks earlier to accommodate the Thanksgiving holiday.
December meeting date is two weeks earlier to accommodate the Christmas holiday.*

**FIDDLER'S CREEK
COMMUNITY DEVELOPMENT DISTRICT
#1**

**STAFF
REPORTS
C**



Wrathell, Hunt and Associates, LLC

TO: Fiddlers Creek CDD #1 Board of Supervisors

FROM: Cleo Adams – District Manager

DATE: February 28, 2024

SUBJECT: Monthly Status Report – Field Operations

May Board Meeting: Chairman Mr. Miller of District #2 has a conflict with the May 22nd Board meeting, and is requesting that the Board consider moving the meeting to Wednesday, May 29th @ 10:00 am due to a conflict. This is an agenda item for Board's discussion/consideration.

Note: Staff is requesting the same for the District #1 meeting.

Landscape Improvements/Renovations Projects: As approved by the Board during the October 25th Board meeting: located on the Parkway adjacent to 951. Total cost \$70,978.00. Project has been completed.

Tree Pruning Schedule/2024:

- Hardwoods: April
- Palms: August
- Fruited Palms: March and October

Flower Rotation: February rotation consisted of mixed Red and Rose Begonia Big's and were installed on Tuesday, February 13th.

2023/24 Rotation: November/February/May/August for budget purposes: \$51K.

Landscape Reports: As indicated during your January meeting, Staff received several reports from Shannon Benedetti and has provided to GulfScapes for proposals of various projects. Staff is in the process of obtaining additional proposals for replacement which include Bougainvillea beds, as well as Fiscus hedges.

Note: Staff toured the property with GulfScapes on Wednesday, February 7th and observed numerous failing bougainvillea beds. Upon discussion with GulfScapes they have indicated that the decline is due to a combination of cold/wet winter; aged plant material. Staff reviewed their files and determined that those beds are extremely old (approximately 7 years) and have reached their life expectancy; and should be replaced. Once proposals have been obtained, Staff will provide to the Board for consideration.

Note: Guard Rail Project approved in August 2023 for \$7,500.00. Updates to be provided by Terry Cole. Once removal has been completed Staff to provide a proposal to DRC for suggested landscape replacement at this location.

Irrigation: Due to excessive wet/cool conditions watering has been adjusted due to plant bed diseases – as of January 8th.

Mallard's Landing: On Monday, February 12th Staff received an email from Aaron Haak, Deputy General Counsel for the Fiddlers Creek Foundation surrounding the removal of several hedges that were blocking the control panel for the lift station/communications devise. Staff is assuming this project was conducted by the County in order to not interfere with their ability to access/service as maybe necessary.

Note: Staff is reviewing to determine if Shrubs can be installed on the backside of the equipment to block the view of the roadway by those residents. This is located/adjacent to the Fiddlers Creek Parkway.

Cardinal Cove/Championship Drive: During the December Board meeting, resident Jack Combs requested that the District review and consider replacing the Philodendron plantings with Clusia plant material. This location is adjacent to 4502 Cardinal Cove. Cost received to R/R - \$2,662.50. Staff has requested that our District Engineer confirm that this location is in fact in the ROW of the District's responsibility and not the HOA.

Irrigation Gate Valves: As discussed during the September meeting, Aqua-Matic has been directed to inspect all gate valves to ensure they are performing properly. Proposal for Field review by Aqua-Matic have not yet been received. Staff reached out again on Tuesday, February 20th for an update/reminder.

Lake Maintenance: Updates to be provided by Premier Lakes.

Street Signage: On Thursday, September 21st it was reported that the “keep right” signage had been damaged; located on Cherry Oaks Trail at the roundabout. Staff has submitted a work-order for required repairs.

Mulberry Chain-link Fencing: As indicated at last month's meeting there are several sections of the fencing that has been compromised and requires repairs. Representative from Carter Fence met with Supervisor Schmitt the week of January 22nd to review. Proposal received for a cost of \$6,160.68 for required repairs and is an agenda item for Board consideration.

Note: There are two trees that are actually growing into the fence that will require removal before fencing project can commence. Staff is currently waiting for a proposal to have that resolved.